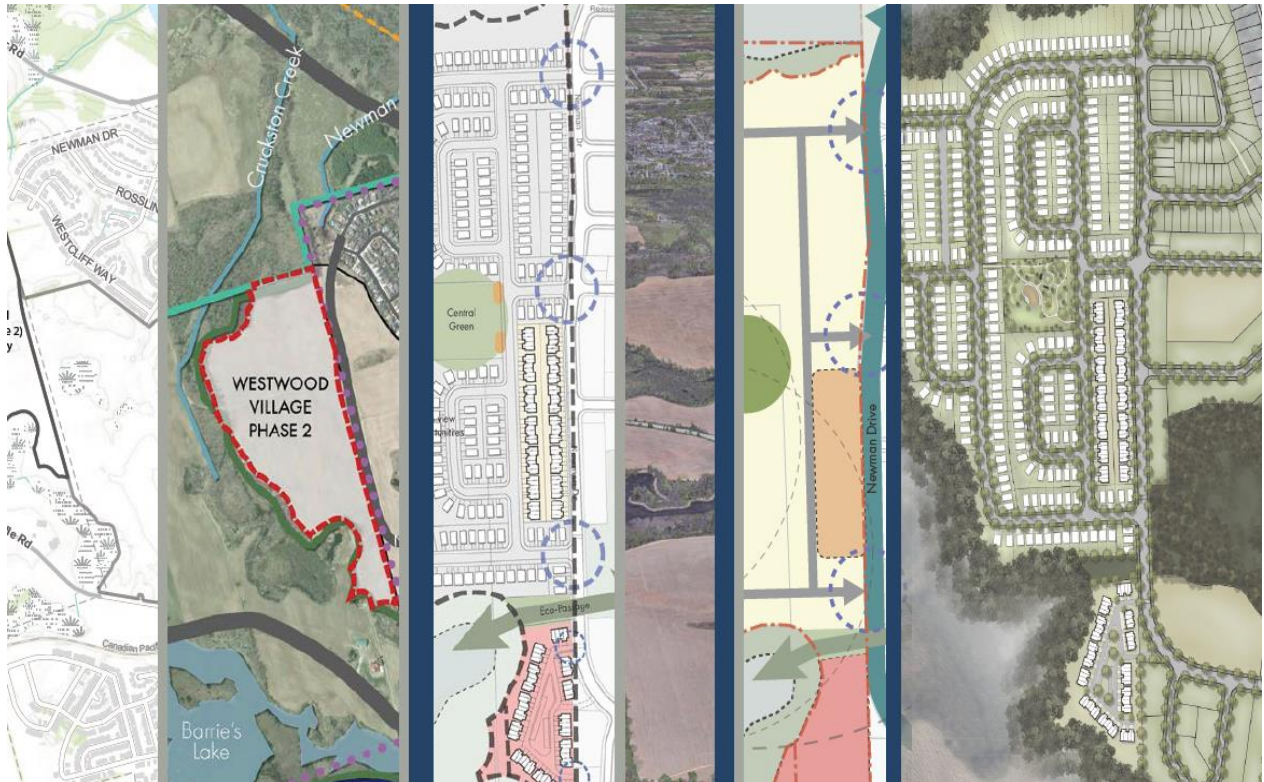


# PLANNING REPORT

## Westwood Village (Phase 2) Community



Date:

**April, 2021**

Prepared for:

**Hallman Construction Limited and Brian Domm Farms Ltd.**

Prepared by:

**MacNaughton Hermesen Britton Clarkson Planning Limited (MHBC)**



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# 1.0 INTRODUCTION

MacNaughton Hermsen Britton Clarkson Planning Limited (“MHBC Planning”) have been retained by Hallman Construction Limited (‘Hallman’) and Brian Domm (‘Domm’) to provide planning advice, lead a multi-disciplinary team in the preparation of proposed residential plans of subdivision, prepare a comprehensive planning report and design guidelines in support of an Official Plan Amendment, Zoning By-law Amendment and Plans of Subdivision applications. One Official Plan Amendment and one Zoning By-law Amendment is proposed and relates to the lands owned by both Hallman and Domm. The Official Plan Amendment addresses the requirements of Policy 2.1.4 (c) of the Township Official Plan and, among other matters, proposes a hierarchy of residential and other land use designations, urban design policies, open space, environmental, servicing as well as transportation policies. Although separate subdivision applications are proposed for each property, the lands have been evaluated together to ensure a coordinated approach to the design and development of the Hallman and Domm lands, hereinafter and collectively referred to as the “subject lands”.

The subject lands are located in the Township of North Dumfries and are immediately adjacent to a comprehensively planned community located in the City of Cambridge and referred to as the “Westwood Village (Phase 1) Community”. The subject lands represent the logical extension and second phase of the Westwood Village (Phase 1) Community. The location of the subject lands is shown in **Figure 1**.

The Hallman lands are legally described as Part of Lots 13 and 14, Concession 11 and Part of Road Allowance between Concessions 11 and 12 in the Township of North Dumfries. The Domm lands are legally described as Part of Lots 13 and 14, Concession 11 and Part of Road Allowance between Concessions 11 and 12, in the



Township of North Dumfries. It is relevant to note that only the portion of the subject lands designated as Urban Area have been included within the limits of the proposed plans of subdivision. The Hallman subdivision relates to lands with an area of approximately 16.947 hectares (41.88 acres). The Domm subdivision relates to lands with an area of approximately 8.480 hectares (20.95 acres). In total, approximately 25.427 hectares (62.83 acres) of land are included within the two plans of subdivision.

The proposed Official Plan Amendment, Zoning By-law Amendment and plans of subdivision applications have been submitted together and should be processed concurrently to ensure the comprehensive consideration and evaluation of all applications. To this end, consolidated reports that address both properties have been prepared.

The purpose of this report is to evaluate the proposed applications in the context of relevant planning, design and policy considerations. This report also considers and synthesizes all other technical reports that have been prepared in support of "Complete Applications". This report should be reviewed and considered together with all reports, including the Urban Design Guidelines dated February 1, 2021 that have also been prepared by MHBC.

This Planning Report includes:

- An overview of existing conditions, surrounding land uses (both existing and planned), and the locational context of the subject lands;
- A summary of the Cambridge West Master Environmental Servicing Plan ("MESP") and other relevant planning and environmental assessment processes;
- An overview of the Westwood Village (Phase 2) Community Concept Plan;
- A proposed Official Plan Amendment;

- A summary of: the subdivision applications (land use, road patterns, density, parks, and servicing); subdivision design and other planning considerations;
- A proposed Zoning By-law Amendment;
- A summary/synthesis of other reports prepared in support of “Complete Applications”;
- An analysis of the applications relative to matters of provincial interest, the existing policy framework (Provincial, Regional and Municipal), subdivision criteria, and other relevant planning considerations;
- An approach to engaging with and consulting the public.

This report builds upon the extensive planning, design, transportation, environmental and engineering analysis associated with the adjacent Westwood Village (Phase 1) Community.

## 1.1 Complete Applications

A pre-submission consultation meeting was held on October 3, 2019. Staff from the Township of North Dumfries, City of Cambridge, Region of Waterloo, Grand River Conservation Authority (GRCA), K-Smart, and Energy Plus were in attendance. MHBC’s presentation summary is attached as **Appendix A**.

A preliminary concept design was presented at the pre-submission consultation meeting. The design was generally well received. There were some suggested revisions, a number of matters were raised for consideration and reports required to support “Complete Applications” were identified. The general consensus from the meeting was that the proposed Westwood Village (Phase 2) Community should function as the natural extension of the Westwood Village (Phase 1) Community. A record of the pre-submission consultation meeting, together with MHBC’s summary of the meeting are attached as **Appendix B**.

It was agreed that prior to formally submitting applications, a meeting focused on design related considerations would occur. A design workshop took place on March 9, 2020 and was guided by a design presentation. The intent of the workshop was to establish a design vision and design direction for the Westwood Village (Phase 2) Community. There was consensus that the overriding design objective should be to seamlessly integrate the Westwood Village (Phase 2) Community with the approved Westwood Village (Phase 1) Community. It was also agreed that design guidelines should be prepared and be guided by this overriding design objective.

A number of reports and plans are required to form part of complete applications. The following reports and material were considered in this report and form part of the applications that have been submitted:

1. Planning Report - Prepared by MHBC Planning Limited (April, 2021);
2. Draft Plan of Subdivision (Hallman Construction Ltd.) - Prepared by MHBC Planning Limited (February 4, 2021); and,
3. Draft Plan of Subdivision (Brian Domm) - Prepared by MHBC Planning Limited (February 4, 2021).
4. Urban Design Guidelines - Prepared by MHBC Planning Limited (February 1, 2021);
5. Financial Impact Assessment - Westwood Village (Phase 2) Community - Prepared by MTE Consultants and MHBC Planning Limited (April, 2021);
6. Functional Servicing Report - Prepared by MTE Consultants (April 19, 2021);
7. Hydrogeological Assessment - Prepared by MTE Consultants (April 19, 2021);
8. Preliminary Stormwater Management Report - Prepared by MTE Consultants (April 19, 2021);
9. Chloride Impact Assessment (included as part of the Preliminary Stormwater Management Report) - Prepared by MTE Consultations (April 19, 2021);
10. Scoped Environmental Impact Study (EIS) Report - Prepared by WSP Canada Ltd. (April, 2021);
11. Transportation Impact Study - Prepared by Paradigm Transportation Solutions Limited (April, 2021);



12. An Archaeological Report was previously completed and archaeological clearance has been received. The clearance letter is included as **Appendix C**.

MHBC Planning has been responsible for overall project coordination, preparation of the planning and urban design reports, the design of the plans of subdivision (in collaboration with the project team), and the completion and filing of the applications. All required reports have been prepared and submitted concurrently with the planning applications such that the applications can be deemed complete and accepted for processing by the Region of Waterloo and the Township of North Dumfries.

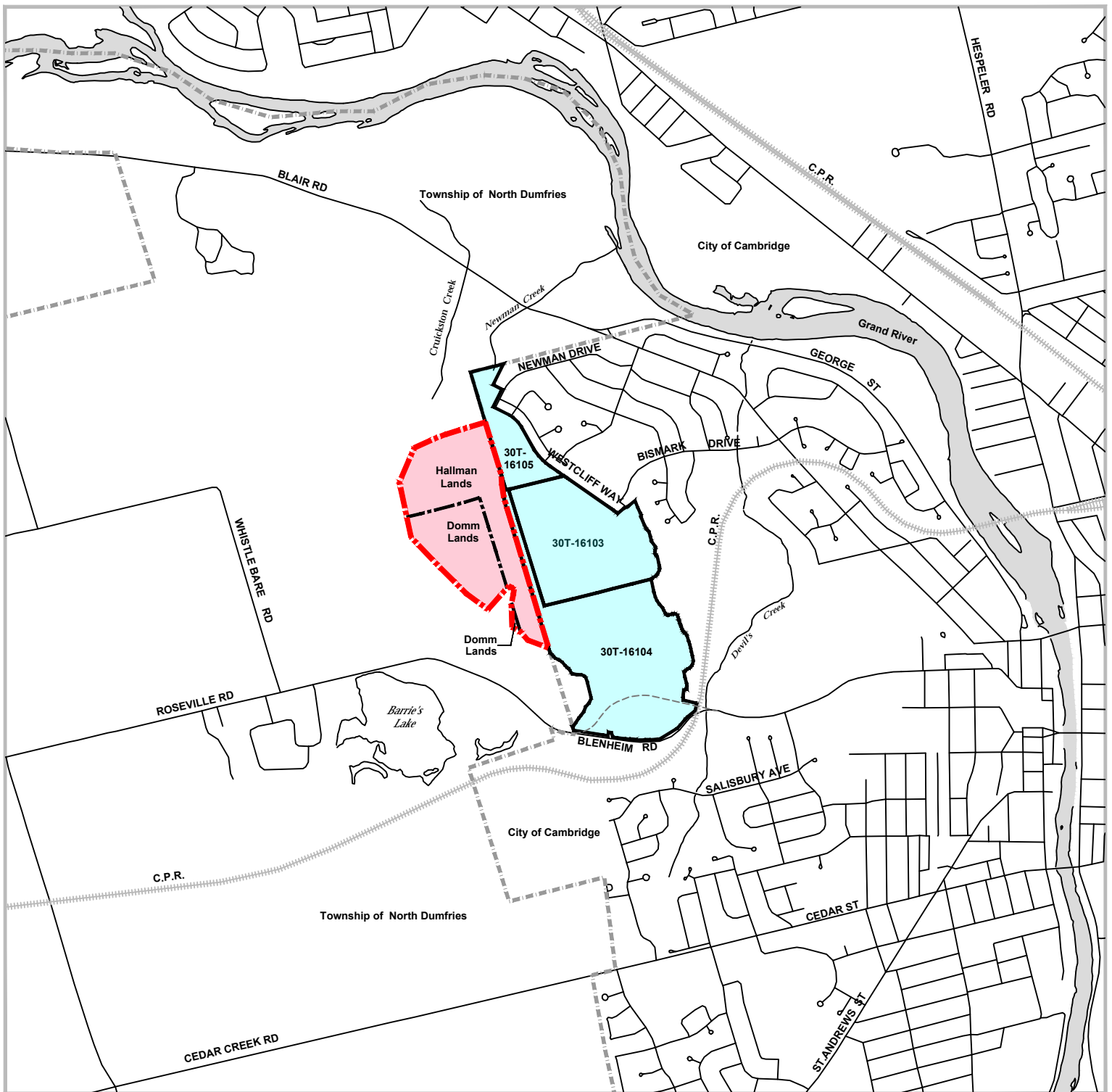


Figure 1  
**Location Map**

**LEGEND**



Subject Lands



Westwood Village (Phase 1) Community



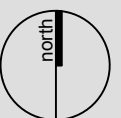
Westwood Village (Phase 2) Community

**DATE:** February 2021

**FILE:** 0800C

**SCALE** 1 : 25,000

**DRAWN:** DGS



K:\0800C-GATESTONE DEVELOPMENTS-NORTH DUMFRIES LANDS\RPT\LOCATION MAP.DWG

**Hallman Construction Limited/  
Brian Domm**  
Township of North Dumfries  
Region of Waterloo

Base Map Source: SLRN, Region of Waterloo



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## 2.0 **DESCRIPTION OF SUBJECT LANDS & SURROUNDING LAND USES (EXISTING & PLANNED)**

The subject lands are located within the Township of North Dumfries, immediately west of the City of Cambridge/Township of North Dumfries municipal boundary and adjacent to the approved Westwood Village (Phase 1) Community located within the City of Cambridge. The Westwood Village (Phase 1) Community has been comprehensively planned through a secondary planning process that was integrated with a Class Environmental Assessment process. Infrastructure planning provides for the development of both the Phase 1 and Phase 2 communities. The subject lands represent the logical extension of the Westwood Village (Phase 1) Community and related services have been planned to support the development of both the Phase 1 and Phase 2 communities.

The design of the Westwood Village (Phase 1) Community is based on an urban structure comprised of community focal points including a mixed-use commercial node located at the intersection of Bismark Drive and re-aligned Blenheim Road. The subject lands front the west side of the Newman Drive extension. Newman Drive forms part of the overall collector road network and connects to Bismark Drive. The Westwood Village (Phase 2) Community is connected to and will provide support for the planned mixed-use node.



The subject lands are adjacent and/or in proximity to natural environmental features. Features of note include:

- The Blair-Bechtel-Cruickston Environmentally Sensitive Landscape (ESL) defines the north, south and westerly limits of the designated Urban Area. The ESL provides a natural boundary between the Westwood Village (Phase 2) Community and the predominantly rural area to the west;
- Barries Lake;
- Provincially Significant Wetlands; and,
- Cruickston Creek

The subject lands have historically been used for agricultural purposes. As of the date of this report, area grading of the Westwood Village (Phase 1) Community was substantially complete. The approved grading design provides for a cut/fill balance which includes the placement of fill on the subject lands. The intent is to return the subject lands to an interim agricultural use until such time as planning approvals are received and development proceeds.

The locational context of the subject lands and surrounding land uses (existing and planned) are shown on **Figure 2**. Land uses within the vicinity of the subject lands include:

**NORTH:** The Blair-Bechtel-Cruickston Environmentally Sensitive Landscape (ESL) is a designated Landscape Level System and is located immediately north, south and west of the subject lands. Landscape Level Systems are recognized as part of the Region's Greenland Network and include large areas of land with significant concentrations of environmental features. Approved land use policies focus on protecting and enhancing the ecological integrity and

functions of these landscape systems. The rare Charitable Research Reserve is also located to the north and west of the subject lands and is within the Blair-Bechtel-Cruickston ESL. rare is a major landowner in the area and has a vision for the reserve that provides for the protection of environmental features and agricultural lands within the reserve.

The Blair Road Residential Community is located to the northeast of the subject lands. The Blair Road community is a predominately low rise residential community with an existing trail network and neighbourhood parks. Two elementary schools (Saint Augustine Catholic School and Blair Road Public School) are located within this community. Existing Bismark and Newman Drive together with street stubs provide for the logical extension of roads and services through the Westwood Village (Phase 1) Community.

**EAST:** The Newman Drive Extension defines the east limit of the subject lands. The Westwood Village (Phase 1) Community is located immediately to the east and has been approved as a contemporary residential community comprised of a mix and range of unit types, neighbourhood servicing uses, a public elementary school, parks, community trails and servicing infrastructure. The Devil's Creek Wetland and Forest – Environmental Significant Policy Area (ESPA) is located immediately to the east of the Westwood Village (Phase 1) Community. The Devils Creek trail system connects to a system of existing and planned community trails.

West Galt is located approximately 4 kilometres to the east and is separated from the subject lands by the Westwood Village (Phase 1) Community, Devils Creek and other lands.

**SOUTH:** Lands to the south consist of natural heritage features and agricultural land uses. Barrie's Lake is located on the south side of Roseville/Blenheim Road and approximately 500 metres from the subject lands. The Canadian Pacific Railway ("CPR") line is located to the south of Barrie's Lake. Existing and planned residential development is located to the southeast of Blenheim Road.

**WEST:** Natural heritage features are located to the immediate west of the subject lands and form part of the Blair-Bechtel-Cruickston Environmentally Sensitive Landscape (ESL). The rare Charitable Research Reserve is also located to the west of the subject lands and within the Blair-Bechtel-Cruickston ESL.



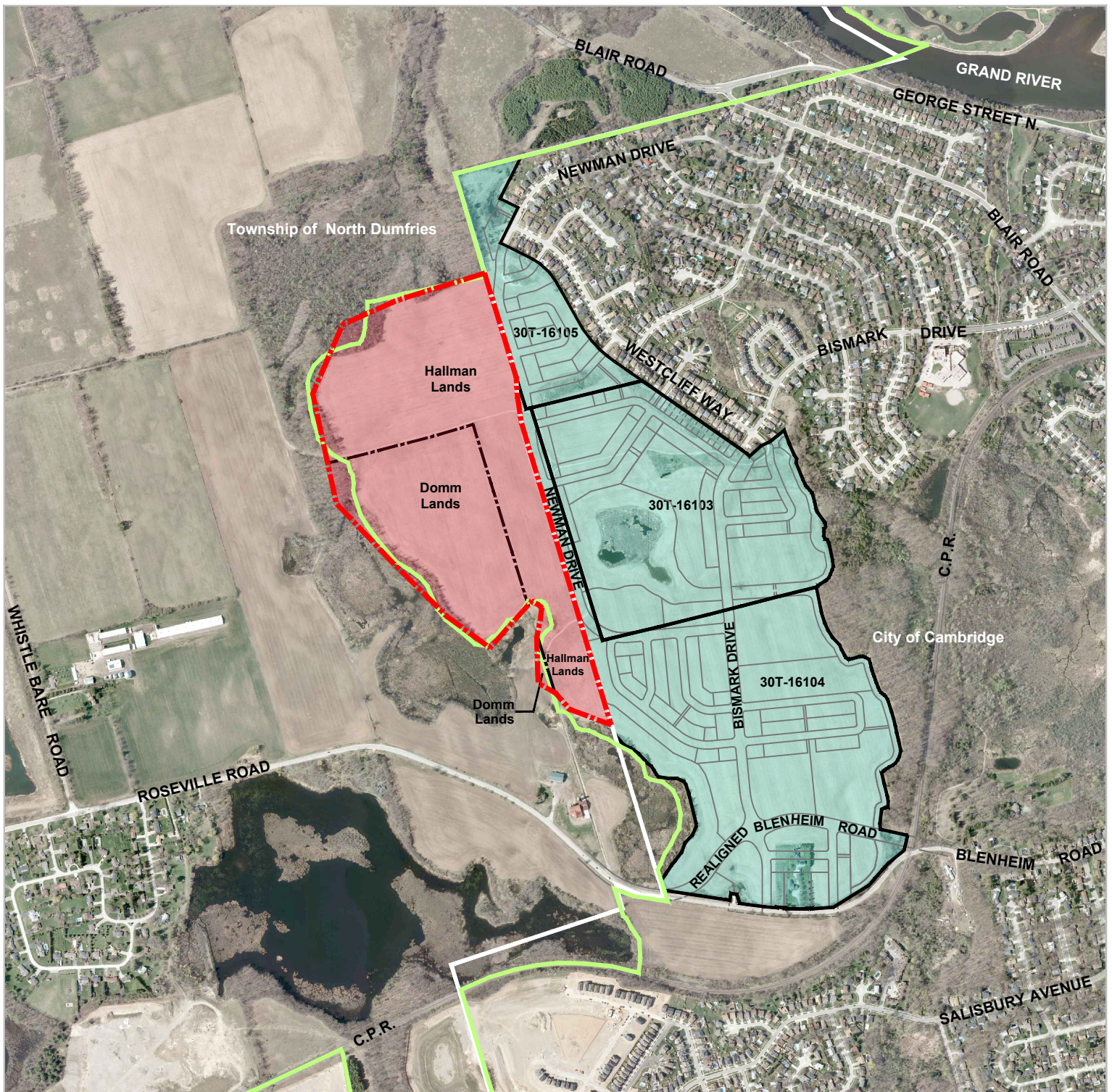


Figure 2  
**Context Plan**

**LEGEND**



Subject Lands



Environmentally Sensitive Landscape  
Blair-Bechtel-Cruikston



Westwood Village (Phase 1) Community



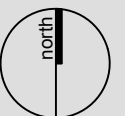
Westwood Village (Phase 2) Community

DATE: February 2021

FILE: 0800C

SCALE 1 : 12,500

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Hallman Construction Limited/  
Brian Domm  
Township of North Dumfries  
Region of Waterloo

Base Map Source: Region of Waterloo, 2018 Aerial Imagery



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# 3.0 BACKGROUND

## 3.1 Cambridge West Master Environmental Servicing Plan (MESP)

Provincial, Regional, City of Cambridge and Township land use policies recognize watersheds and subwatersheds as the appropriate and meaningful scale for planning. Subwatershed studies are to be completed prior to the approval of Official Plan Amendments, Community Plans or Secondary Plans that permit substantial areas of new development to occur within a subwatershed.

The Cambridge West MESP was prepared in satisfaction of subwatershed requirements and integrates environmental analysis, subwatershed planning with infrastructure including (among other matters) transportation planning. The Cambridge West MESP was completed in November, 2013 and approved by Cambridge Council on March 17, 2014, GRCA on January 24, 2014 and the Region of Waterloo on April 19, 2014. The Cambridge West MESP was based on technical studies including a natural heritage study; hydrogeological study; a transportation network study; and servicing studies (stormwater, sanitary sewer, and water).

The study area for the Cambridge West MESP is shown on **Figure 3** and includes a “General Study Area” and a “Development Study Area”. The General Study Area (GSA) includes the Devil’s Creek, Newman, Cruickston Creeks and Barrie’s Lake subwatersheds. The subject lands are located within the General Study Area. The analysis for the GSA considered subwatershed surface drainage functions, as well as natural heritage features and functions. The limits of natural heritage features were surveyed through the MESP process. The MESP

includes recommended buffers associated with these features. The Development Study Area (DSA) includes the Westwood Village (Phase 1) Community. The MESP is based upon multi-year, multi-season analyses of significant natural heritage features and the function of these features.

The Cambridge West MESP provides direction to broader based planning in the area including the Westwood Village (Phase 1) Community (formally referred to as Cambridge West), as well as the subject lands. The Cambridge West MESP satisfied Phases 1 and 2 of the Class Environmental Assessment process for certain infrastructure projects required for the development of the general area. Infrastructure planning for the Cambridge West Community has had regard to servicing requirements associated with the subject lands including (among other matters) the planned collector road network, sanitary services, water distribution/services, and stormwater management/storm drainage.

Implementation of the Cambridge West MESP is to occur through the review and approval of development applications (Official Plan Amendment, Zoning By-law Amendment and Draft Plans of Subdivision). Studies prepared in support of the applications that have been submitted for the subject lands build upon the studies prepared in support of the MESP and Class EA processes as well as the Cambridge West Secondary Plan, and subdivisions within the Phase 1 Community.

## 3.2 Collector Road Environmental Assessment

Municipal Infrastructure projects in Ontario are subject to Ontario's [Environmental Assessment Act](#) (EA Act). The EA process for "Schedule B" infrastructure projects such as stormwater management facilities, trunk watermains and sanitary sewers was finalized through the approval of the Cambridge West MESP. The MESP also satisfied Phases 1 and 2 of the Municipal Class EA for the collector road network required to serve the area.

The MESP recommended a preferred collector road network and provided that the precise alignment of the collector road network would be determined by integrating Phases 3 and 4 of the EA process with an Official Plan Amendment that would designate/identify the alignments in the City of Cambridge Official Plan. A comprehensive evaluation of the alternative collector road alignments and mitigation measures has occurred. The evaluation is documented in an Environmental Study Report dated November, 2018 prepared in satisfaction of Phase 4 of the Class EA process. The Cambridge West Collector Road Class Environmental Assessment and related amendment (OPA No. 36) to the City of Cambridge Official Plan have now been finalized. The final design of the collector roads for construction purposes (Phase 5) is underway and is being completed as part of detailed engineering design associated with subdivisions within the Westwood Village (Phase 1) Community.

### 3.3 Cambridge West Secondary Plan - Westwood Village (Phase 1) Community

The Westwood Village (Phase 1) Community (Cambridge West) is within the designated Urban Area and represents one of the largest undeveloped greenfield areas within the City of Cambridge. The Cambridge West Secondary Plan establishes principles for the design and development of the Westwood Village (Phase 1) Community. It also establishes the general land use pattern and the conceptual location of community infrastructure such as schools, commercial areas, parks, trails, roads, and services. The Secondary Plan builds upon the framework and recommendations of the approved Cambridge West Master Environmental Servicing Plan (MESP).

The Cambridge West Secondary Plan outlines a land use strategy that is intended to guide the detailed planning and development of the Westwood Village (Phase 1) Community. The Westwood Village (Phase 1) Community has been planned to contribute to the achievement of a complete Cambridge community and provides opportunities for a range of housing, population related employment, transportation options

including active transportation, community facilities and institutional uses. The Secondary Plan establishes an appropriate urban structure that organizes community planning elements and directs uses to “Community Focal Points” that are to be linked together by the planned transportation network. The subject lands represent the logical extension of the Westwood Village (Phase 1) Community and are also referred to as the Westwood Village (Phase 2) Community throughout this report.

The Westwood Village (Phase 1) Community will provide opportunities for people to walk, cycle or take transit to community amenity and focal point areas. The Phase 1 Community has been designed to ensure walkability to parks, schools and other neighbourhood features and connect to the surrounding area. The Westwood Village (Phase 2) Community should be designed and planned with these principles in mind.

Bismark Drive has been planned as a transit and servicing spine and is intended to evolve into a transit supportive corridor. Two Neighbourhood Focal Points are centered on major intersections within this corridor. The subject lands are accessible to the neighbourhood focal points that are planned.

The Natural Open Space System within and adjacent to the Westwood Village (Phase 1) Community is based upon, and implements, the Natural Heritage Strategy of the Cambridge West MESP. The goal of the Natural Open Space System is to maintain, restore and where appropriate, enhance existing natural features and associated ecological functions to ensure their continued existence within the urban landscape. The design of the Westwood Village (Phase 2) Community should implement the goals and objectives established for the Natural Heritage System in a manner that protects the adjacent Blair-Bechtel-Cruickston Environmentally Sensitive Landscape (ESL) and related Core Environmental Features.

The Westwood Village (Phase 1) Community has been planned to create a sense of identity and place through the use of various means including attractive built form, architectural design treatments, high

quality building materials, decorative lighting, decorative street signs, boulevard treatments, gateway features and landscaping elements. Planning for the Westwood Village (Phase 2) Community should embrace these design features to assist in the successful integration of the two communities.

The Cambridge West MESP identifies a preferred servicing and storm water management strategy. As noted, the servicing strategy for the Westwood Village (Phase 1) Community anticipates and plans for the development of the subject lands. Planning for the Westwood Village (Phase 2) Community is to reflect the overall servicing strategy. Consideration should be given to the elimination of the storm pond contemplated for Phase 2.

The Cambridge West Secondary Plan identifies an overall servicing strategy and includes detailed staging and associated infrastructure requirements. The development of the subject lands is dependent upon infrastructure to be provided within Westwood Village (Phase 1) Community. Section 4.8 of this Report provides additional details including a recommended staging/phasing strategy for the Phase 2 Community.

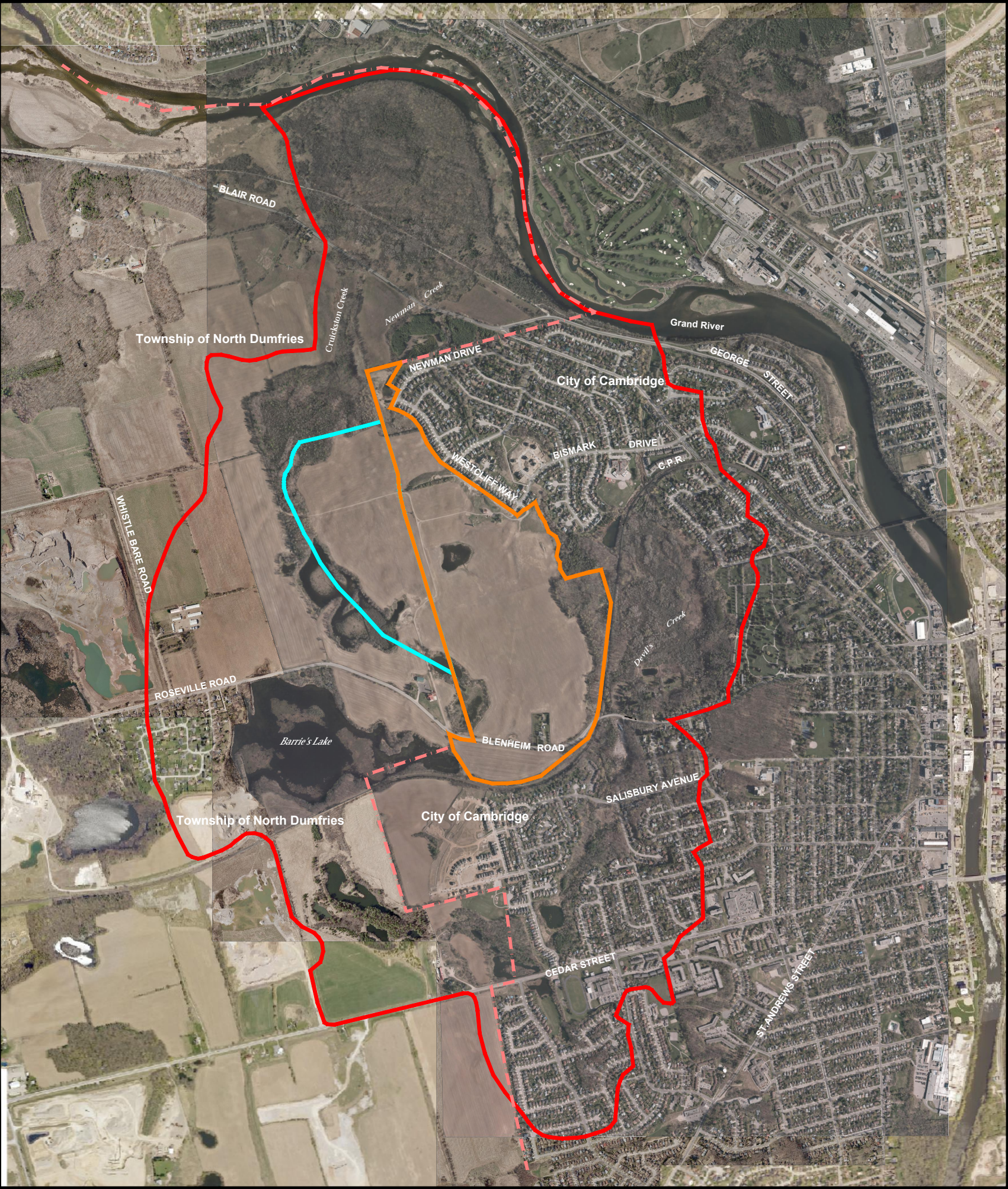
The design of the Westwood Village (Phase 1) Community is based on the following design principles and objectives that should be considered in the design of the Phase 2 Community to ensure the seamless integration of the two communities:

- Achieve a high-quality community design and built form that contributes to place-making.
- Achieve a safe, pedestrian friendly environment that is well-connected and encourages active transportation.
- Include an active transportation network that connects residents with planned parks and surrounding communities.

- Emphasize the public realm particularly at major entrances to the community, terminating views and other highly visible locations.
- Provide a positive pedestrian experience along street frontages through architectural design/ articulation, enhanced landscaping, active streetscapes and a walkable community.
- Include cohesive landscape and wayfinding features.
- Contain a range and mix of residential land uses.
- Identify and provide for the long-term protection of Core Environment Features.
- Incorporate low impact and sustainable development strategies.
- Contribute to a complete community that is walkable and can accommodate various modes of transportation.
- Plan for a more compact built form at densities that support the introduction of transit to the area.
- Contribute to achieving the density targets of the approved Regional Official Plan.
- Integrate and connect public spaces.
- Locate higher density residential uses along collector roads.
- Ensure compatibility of scale and built form between new, proposed and existing development in the vicinity.
- Design the area in a manner that is sensitive to the adjacent natural heritage system and mitigates impacts on natural features, functions and linkages through buffers, development setbacks, and stormwater management best practices.
- Promote sustainable design throughout the community including the efficient use of energy, land, and infrastructure.
- Design spaces that provide safe living and walking environments through consideration of Crime Prevention Through Environmental Design (CPTED) principles.
- Address universal and age-friendly design considerations.

- Coordinate the location of parks with the active transportation network including community trails, sidewalks, walkways and bike lanes.
- Coordinate traffic calming and pedestrian protection measures with the open space, parks, sidewalk and walkways.





Legend

-  General Study Area
-  Development Study Area
-  Additional Study Area
-  Municipal Boundary

Figure 3  
CAMBRIDGE WEST  
MASTER ENVIRONMENTAL  
SERVICING PLAN

STUDY AREA



Scale 1:20,000



0 100 250 500 750  
metres

Sources:  
Air Photo - Region of Waterloo, 2009 and First Base Solutions, 2006  
City of Cambridge, 2012  
Study Area - City of Cambridge



# 4.0 SUMMARY OF COMMUNITY PLAN DESIGN, PROPOSED OFFICIAL PLAN AMENDMENT & PLANS OF SUBDIVISION

Considerable emphasis has been placed on the design process as input to the preparation of this report, the preparation of design guidelines and the proposed Community Concept Design. The design of the Westwood Village (Phase 2) Community is a result of a comprehensive, multi-disciplinary and iterative planning process. Comments received at the pre-consultation meeting as well as the Design Workshop held on March 9, 2020 provided invaluable input to the design of the community. The overriding design objective is to seamlessly integrate the Phase 2 Community with the approved Westwood Village (Phase 1) Community located to the east and within the City of Cambridge.

## 4.1 Policy 2.14 of the Township Official Plan

Official Plan Amendment (No. 26) has been approved and brought the Township's Official Plan into conformity with the in effect Region of Waterloo Official Plan. Through this process, Special Policy (2.14) was approved for the subject lands and reads as follows:

*"In order to facilitate appropriate integration and phasing of development, future development applications will be subject to the following requirements prior to final approval:*

- a) Confirmation from the Region of Waterloo that the additional traffic resulting from the development of the lands can be accommodated within the Region's existing and planned transportation network and that any operational improvements to Regional roads that may be required to accommodate such traffic have been identified within the physical and financial resources for such improvements having been secured by the Region prior to registration of any plans of subdivision;*
- b) Confirmation that either the lands have been incorporated into the City of Cambridge, or that municipal water and wastewater servicing of the lands as required will be accommodated through a cross-border servicing agreement entered into between the City of Cambridge and the municipality having jurisdiction over municipal water distribution and wastewater collection services within the Township of North Dumfries; and,*
- c) Development will occur in accordance with an amendment to this Official Plan, which will establish amongst other matters the hierarchy of residential and other land use designations, urban design policies, open space and environmental policies and strategies, and servicing and transportation policies. To support this amendment and the associated development applications, the owner/applicant will be required to complete appropriate servicing studies that build-on and supplement the preliminary technical review and associated analysis completed for the lands as part of the approved Cambridge West Master Environmental Servicing Plan, and*

The reports that have been prepared in support of the applications satisfy submission requirements outlined in Policy 2.14 and inform and provide part of the basis for the proposed official plan amendment. Section 6.0 of this report summarizes the reports that have been prepared.

## 4.2 Direction Received from Design Workshop

As noted, the Pre-Consultation meeting concluded with the understanding that a design workshop would be coordinated with staff from both the City of Cambridge and the Township of North Dumfries. The design workshop took place on March 9, 2020 and was an effective way to receive staff input at an early stage of the development process and in advance of the submission of formal applications. The design workshop included a review of design objectives, the identification of major design elements and a review of community design considerations. Overview slides that were used to facilitate the workshop together with meeting notes are included as **Appendix D**.

There was broad consensus that the community should be designed as the natural extension of the Westwood Village (Phase 1) Community and with the same emphasis given to design excellence. The following summarizes the major design objectives that were identified at the workshop:

- To seamlessly integrate with the Westwood Village (Phase 1) Community ;
- To effectively utilize the designated urban land base by achieving similar densities as the Westwood Village (Phase 1) Community and in a manner that fits with existing and planned communities;

- To protect and where appropriate enhance Core Environmental Features including the provision of a north/south natural corridor/linkage and implementation of an east/west eco-passage consistent with recommendations of the Cambridge West MESP;
- To ensure walkability and active transportation connections to the active transportation system planned for Westwood Village (Phase 1) Community.
- To design roads based on City of Cambridge standards and make provision for sidewalks on both sides of all proposed streets;
- To contribute to the creation of a complete “Westwood Village” Community (Phase 1 and Phase 2);
- To ensure high quality design.
- To provide opportunities for views and vistas to Core Environmental Features including consideration given to single sided streets or portions thereof.
- To consider sustainability and low impact design features.
- To explore the opportunity to eliminate the stormwater management facility contemplated by the approved Cambridge West MESP and located within the Township of North Dumfries.

Major design elements were identified and specific direction was received for consideration in preparing the design of the Westwood Village (Phase 2) Community. Some of the more notable direction is summarized as follows:

- The limits of core natural heritage features and related buffers are to be reviewed/reaffirmed, reflected in the community design, shown on the draft plans of subdivision and appropriately zoned.
- Implement an ecological linkage within the Phase 2 lands that connects the ESL located to the west with the central wetland located to the east.
- Protect and enhance the ecological functions of Core Environmental Features.
- Confirm and implement buffer enhancements associated with Core Environmental Features.

- Meet or where possible, exceed groundwater infiltration targets of the approved Cambridge West MESP.
- Implement groundwater infiltration on a distributed area basis.
- Consider opportunities to implement low impact development and green infrastructure.
- The design of streets, lots and buildings to consider passive solar opportunities/orientation.
- Park planning is to consider “gaps” in the location of parks within the Westwood Village (Phase 1) Community.
- Locate a park central to the Westwood Village (Phase 2) Community (a central green) and within walking distance of future residents.
- Size and design the central green in a manner that considers the Township’s programming objectives.
- Design the Community to ensure “eyes on the park”.
- Provide wayfinding features and coordinate with walkways, parks and pedestrian crossings.
- Ensure the design of wayfinding features is consistent with the Westwood Village (Phase 1) Community.
- Proactively plan for traffic calming measures.
- Provide a system of sidewalks and walkways that connect with the central green and planned active transportation network planned to the Westwood Village (Phase 1) Community.
- Design parks and pedestrian linkages to be AODA compliant.
- Plan and design a modified grid pattern of streets that connect to Newman Drive.
- Intersections with Newman Drive are to consider the approved street pattern located to the east.
- Design the street network to distribute traffic both within the Phase 2 Community and external to the Westwood Village (Phase 1) Community and collector road network.
- Design the street network in a manner that provides for efficient maintenance, including snow removal.

- Coordinate the design of streets with other functional elements, including services and overland drainage routes.
- Ensure the staging of the Westwood Village (Phase 2) Community recognizes the servicing and staging strategy of the Westwood Village (Phase 1) Community.
- Design streets and services to provide for the appropriate staging of development.
- Provide a variety of unit types and lot widths that are compatible with the surrounding area.
- Consider design features and design enhancements that complement the Westwood Village (Phase 1) Community.
- Design the Community in a manner that contributes to achieving density targets approved for the Region's designated greenfield area.
- Provide for a range of unit types (other than single detached and semi-detached units).
- Plan the Community comprehensively and ensure property boundaries do not detract from this objective.

## 4.3 Overview of Westwood Village (Phase 2) Community Concept Plan

The proposed Westwood Village (Phase 2) Community Land Use Designations and Community Concept Plan is attached as **Figure 4**. The following summarizes some of the main design features of the Community Plan:

1. The adjacent Core Environmental features have been protected. To this end, the limits of features have been surveyed and recommended buffers have been reflected in the design of the community.

2. A wildlife corridor is proposed, the location of which has been coordinated with the ecopassage planned for Newman Drive. The wildlife corridor in combination with the ecopassage will link natural heritage features located to the west with the central wetland located to the east and within the limits of Subdivision 30T-16103.
3. The stormwater management pond contemplated by the approved Cambridge West MESP located within the Township of North Dumfries has been eliminated. Clean water will continue to be directed to the wetland to ensure surface water contributions to the wetland are maintained.
4. Groundwater infiltration measures are proposed on a “distributed basis”. The overall infiltration strategy meets and exceeds approved infiltration targets of the Cambridge West MESP.
5. Internal property lines were ignored ensuring a comprehensive and coordinated approach to the design of the community.
6. A central green has been located central to the community to fill in the “gaps” and ensure future residents are within walking distance of the proposed park.
7. “Eyes on the parks” are proposed as a community safety design feature.
8. Streets and sidewalks have been oriented to provide views and vistas associated with the natural heritage and park system.
9. The size and configuration of the “central” green provides for a range of programming opportunities.
10. A pedestrian scale community that promotes walkability and social interaction is contemplated.
11. A modified grid pattern of streets is proposed. The grid pattern was adjusted to reflect the limits of Core Environmental Features and associated buffers.
12. Proposed sidewalks and walkways provide connections to the parks that are proposed and create a series of walking “loops”.
13. Three local streets are proposed to connect to Newman Drive and provide for the distribution of traffic and pedestrian movement both within and external to the community.



14. Proposed streets and related sidewalks intersect with approved street locations within the Westwood Village (Phase 1) Community providing connectivity between the approved and proposed communities.
15. Sidewalks are proposed on both sides of all streets. The sidewalk system connects to the multi-use trail planned for Newman Drive and the active transportation system planned for the Westwood Village (Phase 1) Community.
16. A range of unit types/residential land uses as well as a variety of lot widths are proposed.
17. Building heights associated with proposed residential land uses provide the opportunity for views of the tree canopy.
18. The design of proposed streets has been coordinated with other functional considerations including services and overland drainage routes.
19. The design of the proposed community has been coordinated with the overall servicing strategy associated with the Westwood Village (Phase 1) Community.
20. The orientation of proposed streets provides passive solar opportunities.

In summary, the community has been designed to integrate with and connect to the Westwood Village (Phase 1) Community and as the logical extension of that community. Design integration includes (among other matters) the extension of the modified grid pattern of streets, the alignment of intersections, a coordinated approach to stormwater management, drainage and servicing, a complementary system of parks and connections to the planned active transportation network.

## 4.4 Summary of Proposed Official Plan Amendment

A draft Official Plan Amendment is included as **Appendix E**. The general purpose of the proposed Official Plan Amendment is to provide a land use planning framework to guide the detailed planning and development of the Westwood Village (Phase 2) Community in a manner that integrates the Phase 2

Community with the approved Westwood Village (Phase 1) Community located to the east while respecting and protecting Core Environmental Features located within the adjacent Blair-Bechtel-Cruickston ESL located to the west, north and south. The proposed amendment considers the environmental framework of the Cambridge West MESP, the planning that has occurred for the Westwood Village (Phase 1) Community as well as Provincial, Regional and Township policies.

The proposed amendment:

1. Implements the Urban Area designation and the Urban Designated Greenfield Area policies of the in effect Regional Official Plan and the Township of North Dumfries Official Plan that apply to the Westwood Village (Phase 2) Community.
2. Addresses land use policy matters outlined in Policy 2.1.4 of the Township of North Dumfries Official Plan.
3. Amends Map 2 of the Township of North Dumfries Official Plan to reference additional special policies that are applicable to the Special Policy Area that has been identified for the Westwood Village (Phase 2) Community.
4. Provides appropriate policy direction to the design and development of the Westwood Village (Phase 2) Community.
5. Establishes appropriate land use designations and related policies for the Westwood Village (Phase 2) Community.
6. Establishes urban design, open space, environmental, servicing and transportation policies for the Westwood Village (Phase 2) Community.
7. Considers and addresses the Cambridge West Master Environmental Servicing Plan (MESP) as it relates to the Westwood Village (Phase 2) Community.
8. Adds Map 2.1.2 - Westwood Village (Phase 2) Community Land Use Designations and Community Concept Plan.

9. Makes minor editorial revisions to the Township of North Dumfries Official Plan, as necessary.

The proposed amendment implements the Urban Area designation and the Urban Designated Greenfield Area policies of the “in effect” Regional Official Plan and the Township of North Dumfries Official Plan and addresses policy matters that are outlined in Policy 2.1.4 and Policy 2.5.2 (b) (iv) of the Township of North Dumfries Official Plan. The proposed amendment addresses the minimum density target for the Westwood Village (Phase 2) Community, the hierarchy of residential and other land use designations, urban design policies, open space and environmental policies as well as infrastructure and transportation related considerations.

The amendment also considers the Cambridge West MESP and directs that an amendment to the approved stormwater management strategy be implemented. The amended strategy ensures chlorides associated with urban development are directed away from the Blair-Bechtel-Cruickston ESL and to Stormwater Management Pond No. 2 located within the Westwood Village (Phase 1) Community. Clean water will continue to be directed to the wetland to ensure surface water contributions to the wetland are maintained.

The amendment builds upon the policy framework associated with the Westwood Village (Phase 1) Community. The special policies outline: goals, a design vision, objectives and land use policies that will guide the detailed planning and the orderly development of the community in a manner that integrates with the Phase 1 Community and protects Core Environmental Features located within the adjacent Blair-Bechtel-Cruickston ESL.

The Westwood Village (Phase 2) Community lands are currently designated for agricultural purposes. The agricultural land use designation “predates” the Urban Area designation and the Urban Designated Greenfield Area policies that apply. New land use designations are shown on Map 2.1.2 which forms part of the amendment included as **Appendix E**. The land use designations and associated policies provide for a range of residential uses that consider the Region’s affordable housing policies and complement the Phase

1 Community. Adjacent buffers are proposed to be designated for open space purposes as part of a strategy that will protect Core Natural Heritage features located outside the limits of the community. Map 2.1.2 also identifies the conceptual location of parks, roads and infrastructure.

## 4.5 Draft Plan of Subdivision (Hallman Lands)

The draft plan of subdivision proposed for the Hallman lands is included as **Figure 5** of this Report and is summarized as follows:

- The Hallman lands are generally “L” shaped and the limits of the Hallman draft plan are defined by future Newman Drive to the east, setbacks from natural heritage features to the north and south, and the limits of the Domm plan located to the west.
- Three streets are proposed to connect to Newman Drive and extend into the Westwood Village (Phase 2) Community as part of an overall grid pattern of streets. The streets generally run in a north/south and east/west direction. The north/south streets run parallel to Newman Drive. The east/west streets and in particular, Street ‘A’ are intended to extend westerly to and through the Domm subdivision as a “loop” road.
- All streets are proposed to satisfy City of Cambridge engineering standards in accordance with understandings reached at the Pre-Submission Consultation meeting. Road allowance widths range from 18.5 metres to 20 metres and accommodate sidewalks on both sides of all streets.
- A wildlife corridor is identified as Block 15, Stage 1 and has been planned together with the Newman Drive eco-passage. These features provide connectivity between environmental features to the west and the central wetland located to the east.
- A portion of the central green is located within the limits of the Hallman subdivision (approximately 0.217 hectares) and is shown as Block 14, Stage 1. This block provides frontage for the central green located on the west side of proposed Street ‘F’.

- A total of 311-504 residential units are proposed and include 200-242 single detached units, 52-77 townhouse units and 59-185 townhouse/apartment units.
- Townhouse multiple units have (for the most part) been oriented to Newman Drive as this road is planned and designed to function as a collector road.
- A multiple residential block identified as Block 1, Stage 3 is to be consolidated with Block 1, Stage 3 of the Domm Subdivision as well as a portion of a future development block (Block 15, Stage 6 of Subdivision 30T-16104) that is also being developed by Hallman Construction Limited. The future development block within Subdivision 30T-16104 is proposed to be rezoned in a manner consistent with zoning proposed for Block 1, Stage 3. Separate zone change applications will be required given consolidation blocks are located within different municipalities.
- Block 4, Stage 5 is to be consolidated with Block 4, Stage 2 and is proposed to be developed as a single detached vacant land condominium.
- A range of residential lot widths are contemplated.
- Staging of the Hallman Plan considers the servicing strategy approved for the Westwood Village (Phase 1) Community. A total of five stages are proposed. All stages are dependent upon the construction of Newman Drive from its current terminus to Street 'A' and the connection of Newman Drive to Bismark Drive. The proposed staging also takes access and internal servicing into consideration. For example, Stage 1 includes two means of access to Newman Drive and will provide a drainage outlet to Stormwater Management Facility No. 2 located within Subdivision 30T-16103. Staging of both the Hallman and Domm subdivisions is reviewed in further detail in Section 4.8 of this Report.

**Table 1** provides a statistical summary of the Hallman Draft Plan of Subdivision.

<b>Table 1: Hallman Draft Plan of Subdivision: Overview</b>			
<b>Description</b>	<b>Lots/Blocks</b>	<b>Units (min-max)</b>	<b>Area (ha)</b>
<b>Residential</b> (Single detached)	28	197-238	9.698
<b>Multiple Residential</b> (Townhomes)	2	52-77	1.422
<b>Multiple Residential</b> (Townhomes/Apartments)	1	59-185	1.857
<b>Parkland</b>	1	n/a	0.217
<b>Wildlife Corridor</b>	1	n/a	0.246
<b>Emergency Access</b>	3	3-4	0.173
<b>0.3 m Reserve</b>	10	n/a	0.012
<b>Roads</b>	n/a	n/a	3.322
<b>TOTAL</b>	<b>46</b>	<b>311-504</b>	<b>16.947</b>

Table 2 confirms the Hallman lands will achieve a net residential density of 56 to 79 people and jobs per hectare. This density conforms to the minimum greenfield density target of the Regional Official Plan.

Table 2: Draft Plan of Subdivision: Density Summary					
Units	PPU (Persons per Unit)**	Population	Total Area (ha)	Total Residents/ha	Total Jobs*
200-242 (Single detached)	3.25	650-787	13.668	48-58	18-22
52-77 (Townhomes)	2.44	127-188	1.422	89-132	4-5
59-185 (Townhomes / Apartments)	2.44 / 1.77	144-327	1.857	78-176	4-9
311-504	n/a	921-1302	16.947	54-77	26-36
Total Persons and Jobs				947-1338	
Total Land Area				16.947 ha	
Land Area for Density Calculation (includes all lands within the Hallman Plan of Subdivision)				16.947 ha	
People /Jobs per Hectare				56-79	
*Jobs calculated at 2.8% of total persons.					
**PPU assumptions are based on the Region's Land Budget prepared in support of the approved Region of Waterloo Official Plan (ROP) (June, 2015).					
*** There are no "take-outs" within the limits of the Hallman Plan and as a result, the entire area of the plan of subdivision has been considered in calculating net residential density.					
**** Stage 3 shown in the proposed draft plans provides for a range of unit types. The minimum unit count assumes townhomes and the maximum unit count assumes apartments. The corresponding PPU's were used in calculating the related population.					

## 4.6 Draft Plan of Subdivision (Domm Lands)

The draft plan of subdivision proposed for the Domm lands is included as **Figure 6** and is summarized as follows:

- The Domm lands are generally triangular in shape and the limits of the Domm subdivision are defined by setbacks from natural heritage features located to the west and south limits of the Hallman subdivision located to the east.
- Five street connections within the Hallman draft plan of subdivision are proposed to be extended into the Domm lands and as a continuation of the modified grid pattern of streets that is proposed. The street extensions include the two legs of Street 'A' and Street 'C', as well as the extension of Street 'B'. Similar to the Hallman plan, the streets generally run in a north/south and east/west direction.
- All streets satisfy City of Cambridge engineering standards and road allowance widths range from 18.5 metres to 20 metres and will accommodate sidewalks on both sides of all streets.
- Three park blocks are proposed. Block 16, Stage 1 forms part of the central green and is to be consolidated with Block 14, Stage 1 within the limits of the Hallman plan. Block 16, Stage 1 has an area of approximately 0.784 hectares (1.937 acres). The central green will have a total consolidated area of approximately one hectare and approximately 92 metres of frontage on Street 'F'. A pedestrian walkway connects the central green to the balance of the Community located to the west (Block 19, Stage 1).
- Park Block 15, Stage 1 and Park Block 8, Stage 2 provide vista/views and passive seating opportunities.
- A total of 119-152 residential units are proposed and include 114-134 single detached units and 0-12 townhouse/apartment units.

- Block 4, Stage 2 is proposed to be consolidated with Block 4, Stage 5 of the Hallman plan and developed as single detached vacant land condominium.
- A number of consolidation blocks have been identified and are to be consolidated with adjacent blocks within the limits of the Hallman plan.

Table 3 provides a statistical summary of the Domm Draft Plan of Subdivision.

<b>Table 3: Domm Draft Plan of Subdivision Overview</b>			
<b>Description</b>	<b>Lots/Blocks</b>	<b>Units (min-max)</b>	<b>Area (ha)</b>
<b>Residential</b> (Single detached)	21	114-134	5.138
<b>Multiple Residential</b> (Townhomes/Apartments)	1	0-12	0.126
<b>Parkland</b>	3	n/a	0.960
<b>Emergency Access</b>	2	5-6	0.302
<b>Walkway</b>	1	n/a	0.018
<b>0.3 m Reserve</b>	3	n/a	0.003
<b>Roads</b>	n/a	n/a	1.933
<b>TOTAL</b>	<b>31</b>	<b>119-152</b>	<b>8.480</b>

Table 4 provides a summary of estimated population and jobs generated as a result of the proposed development of the Domm lands.

<b>Table 4: Draft Plan of Subdivision: Density Summary</b>					
<b>Units</b>	<b>PPU (Persons per Unit)**</b>	<b>Population</b>	<b>Total Area (ha)</b>	<b>Total Residents/ha</b>	<b>Total Jobs*</b>
119-140 (Single detached)	3.25	387-455	8.354	46-54	11-13
0-12 (Townhomes / Apartments)	2.44 / 1.77	0-21	0.126	0-167	0-1
<b>119-152</b>	<b>n/a</b>	<b>387-476</b>	<b>8.480</b>	<b>46-56</b>	<b>11-14</b>
<b>Total Persons and Jobs</b>				<b>398-490</b>	
<b>Total Land Area</b>				<b>8.480 ha</b>	
<b>Land Area for Density Calculation (includes all lands within the Domm Plan of Subdivision)</b>				<b>8.480 ha</b>	



People /Jobs per Hectare	47-58
<p><i>*Jobs calculated at 2.8% of total persons.</i></p> <p><i>**PPU assumptions are based on the Region's Land Budget prepared in support of the approved Region of Waterloo Official Plan (ROP) (June, 2015).</i></p> <p><i>*** There are no "take-outs" within the limits of the Domm Plan and as a result, the entire area of the plan of subdivision has been considered in calculating net residential density.</i></p> <p><i>**** Stage 3 shown in the proposed draft plans provides for a range of unit types. The minimum unit count assumes townhomes and the maximum unit count assumes apartments. The corresponding PPU's were used in calculating the related population.</i></p>	

## 4.7 Draft Plan of Subdivision Consolidated (Hallman and Domm Lands)

The Hallman and Domm plans of subdivision have been consolidated to assist in the review process. The consolidated plan is included as **Figure 7. Table 5** provides a summary of the consolidated plan and net density calculations. The calculations confirm that the two plans when considered together meet and exceed the minimum density target of the Regional Official Plan.

<b>Table 5: Density Summary for the Westwood Village (Phase 2) Community</b>					
<b>Units</b>	<b>PPU (Persons per Unit)**</b>	<b>Population</b>	<b>Total Area (ha)</b>	<b>Total Residents/ha</b>	<b>Total Jobs*</b>
319-382 (Single detached)	3.25	1037-1242	22.022	47-56	29-35
52-77 (Townhomes)	2.44	127-188	1.422	89-132	4-5
59-197 (Townhomes / Apartments)	2.44 / 1.77	144-348	1.983	73-175	4-10
<b>430-656</b>	<b>n/a</b>	<b>1308-1778</b>	<b>25.427</b>	<b>51-70</b>	<b>37-50</b>
<b>Total Persons and Jobs</b>					<b>1345-1828</b>
<b>Total Land Area</b>					<b>25.427 ha</b>
<b>Land Area for Density Calculation (includes all lands within Westwood Village (Phase 2) Community)</b>					<b>25.427 ha</b>
<b>Overall Density</b>					
<b>People /Jobs per Hectare</b>					<b>53-72</b>
<b>Units Per Hectare</b>					<b>17-26</b>
<b>*Jobs calculated at 2.8% of total persons.</b>					

***\*\*PPU assumptions are based on the Region's Land Budget prepared in support of the approved Region of Waterloo Official Plan (ROP) (June, 2015).***

***\*\*\* There are no "take-outs" within the limits of the Hallman and Domm plans and as a result, the entire area of the two plans of subdivision have been considered in calculating the net residential density of the Westwood Village (Phase 2) Community .***

***\*\*\*\* Stage 3 shown in the proposed draft plans provides for a range of unit types. The minimum unit count assumes townhomes and the maximum unit count assumes apartments. The corresponding PPU's were used in calculating the related population.***

## 4.8 Staging of Development

The staging of the proposed plans takes a number of matters into consideration:

- The development of any subdivision stage within the Westwood Village (Phase 2) Community requires the collector roads and approved services located within Stage 1 of both Subdivisions 30T-16103 and 30T-16104. These stages include the realignment of Blenheim Road, the extension of Bismark Drive, the extension of a watermain on the south side of the CPR Rail line, and the extension of sanitary and storm services including the Princess Street storm sewer.
- Registration of any subdivision stage within the Westwood Village (Phase 2) Community is subject to securing the construction of adjacent Newman Drive and related services, as well as the construction of Stormwater Management Pond No. 2 within the limits of Stage 1 of Subdivision 30T-16103.
- The Hallman plan of subdivision has been staged to ensure each subdivision stage has two means of access to Newman Drive and an overland flow route to Stormwater Management Pond No. 2 within the limits of Subdivision 30T-16103 and related storm drainage system.
- The development of the Domm plan of subdivision is contingent upon road access, overland storm drainage and the extension of services through the Hallman plan of subdivision.

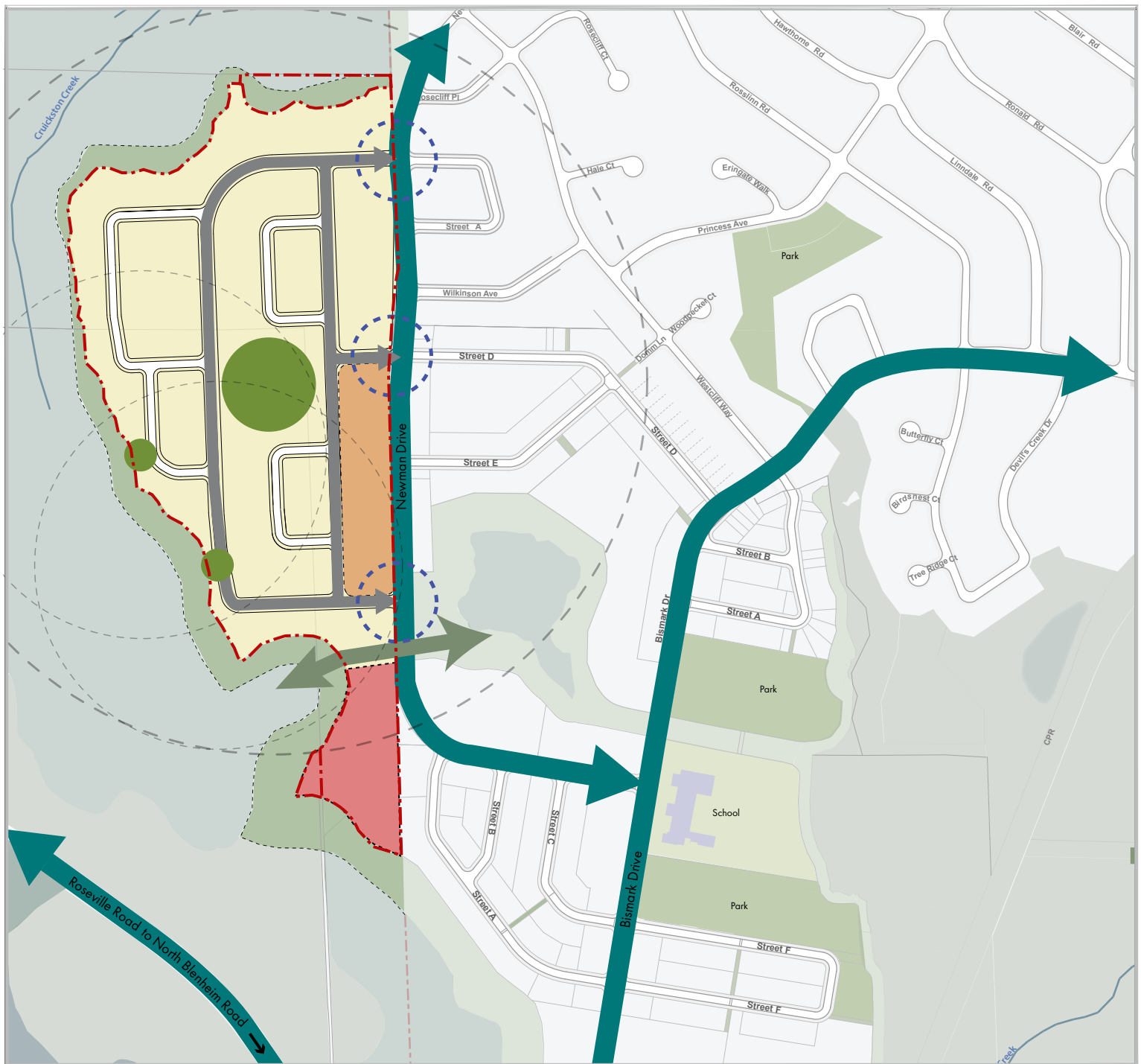


Figure 4

## Township of North Dumfries Official Plan

### Map 2.1.2 -

Westwood Village (P2)  
Land Use Designations and  
Community Concept Plan

**Hallman Construction Limited/  
Brian Domm**  
Township of North Dumfries  
Region of Waterloo

#### LEGEND

- Area of Amendment
- Low Density Residential
- Low/Medium Density Residential
- Medium Density Residential
- Open Space
- ↔ Environmental Corridor
- ↔ Major Collector Road
- Gateways

- Park
- Parkettes
- 2-minute Walk (200m radius)
- 5-minute Walk (500m radius)

**DATE:** January 2021

**FILE:** 0800C

**SCALE:** NTS

**DRAWN:** CH



The identification of roads, parks and parkettes is for illustration purposes only. The final design and alignment of roads and the location/-configuration of parks/parkettes will be determined through the plan of subdivision process.

Additional Lands Owned by Applicant

Limit of Draft Plan to be Surveyed

Blk. 1 Residential (Single Detached) 0.781 ha

Blk. 12 Residential (Single Detached) 0.241 ha

Blk. 9 Residential (Single Detached) 0.422 ha

Blk. 8 Residential (Single Detached) 0.475 ha

Blk. 6 Residential (Single Detached) 0.422 ha

Blk. 7 Consolidation Block (Single Detached) 0.280 ha

Blk. 16 Future Development Stage 6 201-16103

Blk. 13 Consolidation Block (Residential) 0.005 ha

Blk. 16 Future Development Stage 6 301-16103

Blk. 11 Residential (Single Detached) 0.125 ha

Blk. 10 Residential (Single Detached) 0.711 ha

Blk. 9 Residential (Single Detached) 0.178 ha

Blk. 8 Residential (Single Detached) 0.117 ha

Blk. 7 Residential (Single Detached) 0.283 ha

Blk. 16 Wildlife Corridor 0.246 ha

Blk. 15 Future Development Stage 6 301-16103

Blk. 1 Consolidation Block (Multiple Residential) 1.857 ha

Blk. 17 Residential (Single Detached) 0.069 ha

Blk. 18 Residential (Single Detached) 0.048 ha

Blk. 6 Residential (Single Detached) 0.068 ha

Blk. 19 Residential (Single Detached) 0.001 ha

Blk. 10 Residential (Single Detached) 0.069 ha

Blk. 3 Consolidation Block (Single Detached) 0.164 ha

Blk. 15 Emergency Access 0.070 ha

Blk. 10 Emergency Access 0.057 ha

Blk. 6 Emergency Access 0.046 ha

Blk. 7 0.3m Reserve 0.001 ha

Blk. 8 Reserve 0.003 ha

Blk. 4 Residential (Single Detached) 0.363 ha

Blk. 3 Residential (Single Detached) 0.320 ha

Blk. 2 Residential (Single Detached) 0.320 ha

Blk. 1 Residential (Single Detached) 0.320 ha

Blk. 5 Residential (Single Detached) 0.041 ha

Blk. 2 Residential (Single Detached) 0.041 ha

Blk. 12 0.3m Reserve 0.001 ha

Blk. 9 (Stage 4) 0.3m Reserve 0.001 ha

Blk. 2 Residential (Single Detached) 0.189 ha

Blk. 1 Residential (Single Detached) 1.175 ha

Blk. 4 Consolidation Block (Single Detached) 0.852 ha

Blk. 9 Consolidation Block (Single Detached) 0.326 ha

Blk. 5 0.3m Reserve 0.001 ha

Blk. 10 0.3m Reserve 0.001 ha

Blk. 11 0.3m Reserve 0.001 ha

Blk. 12 0.3m Reserve 0.001 ha

Blk. 13 0.3m Reserve 0.001 ha

Blk. 14 0.3m Reserve 0.001 ha

Blk. 15 0.3m Reserve 0.001 ha

Blk. 16 0.3m Reserve 0.001 ha

Blk. 17 0.3m Reserve 0.001 ha

Blk. 18 0.3m Reserve 0.001 ha

Blk. 19 0.3m Reserve 0.001 ha

Blk. 20 0.3m Reserve 0.001 ha

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Blk. 24 0.3m Reserve 0.001 ha

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Blk. 28 0.3m Reserve 0.001 ha

Blk. 29 0.3m Reserve 0.001 ha

Blk. 30 0.3m Reserve 0.001 ha

Blk. 31 0.3m Reserve 0.001 ha

Blk. 32 0.3m Reserve 0.001 ha

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Blk. 61 0.3m Reserve 0.001 ha

Blk. 62 0.3m Reserve 0.001 ha

Blk. 63 0.3m Reserve 0.001 ha

Blk. 64 0.3m Reserve 0.001 ha

Blk. 65 0.3m Reserve 0.001 ha

Blk. 66 0.3m Reserve 0.001 ha

Blk. 67 0.3m Reserve 0.001 ha

Blk. 68 0.3m Reserve 0.001 ha

Blk. 69 0.3m Reserve 0.001 ha

Blk. 70 0.3m Reserve 0.001 ha

Blk. 71 0.3m Reserve 0.001 ha

Blk. 72 0.3m Reserve 0.001 ha

Blk. 73 0.3m Reserve 0.001 ha

Blk. 74 0.3m Reserve 0.001 ha

Blk. 75 0.3m Reserve 0.001 ha

Blk. 76 0.3m Reserve 0.001 ha

Blk. 77 0.3m Reserve 0.001 ha

Blk. 78 0.3m Reserve 0.001 ha

Blk. 79 0.3m Reserve 0.001 ha

Blk. 80 0.3m Reserve 0.001 ha

Blk. 81 0.3m Reserve 0.001 ha

Blk. 82 0.3m Reserve 0.001 ha

Blk. 83 0.3m Reserve 0.001 ha

Blk. 84 0.3m Reserve 0.001 ha

Blk. 85 0.3m Reserve 0.001 ha

Blk. 86 0.3m Reserve 0.001 ha

Blk. 87 0.3m Reserve 0.001 ha

Blk. 88 0.3m Reserve 0.001 ha

Blk. 89 0.3m Reserve 0.001 ha

Blk. 90 0.3m Reserve 0.001 ha

Blk. 91 0.3m Reserve 0.001 ha

Blk. 92 0.3m Reserve 0.001 ha

Blk. 93 0.3m Reserve 0.001 ha

Blk. 94 0.3m Reserve 0.001 ha

Blk. 95 0.3m Reserve 0.001 ha

Blk. 96 0.3m Reserve 0.001 ha

Blk. 97 0.3m Reserve 0.001 ha

Blk. 98 0.3m Reserve 0.001 ha

Blk. 99 0.3m Reserve 0.001 ha

Blk. 100 0.3m Reserve 0.001 ha

Blk. 101 0.3m Reserve 0.001 ha

Blk. 102 0.3m Reserve 0.001 ha

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Blk. 104 0.3m Reserve 0.001 ha

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Blk. 106 0.3m Reserve 0.001 ha

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Blk. 115 0.3m Reserve 0.001 ha

Blk. 116 0.3m Reserve 0.001 ha

Blk. 117 0.3m Reserve 0.001 ha

Blk. 118 0.3m Reserve 0.001 ha

Blk. 119 0.3m Reserve 0.001 ha

Blk. 120 0.3m Reserve 0.001 ha

Blk. 121 0.3m Reserve 0.001 ha

Blk. 122 0.3m Reserve 0.001 ha

Blk. 123 0.3m Reserve 0.001 ha</

0 5 10 25 50 100m



Figure 6

DRAFT PLAN OF SUBDIVISION

**Legal Description**  
PART OF LOTS 13 AND 14, CONCESSION 11  
AND PART OF ROAD ALLOWANCE BETWEEN CONCESSIONS 11 & 12  
TOWNSHIP OF NORTH DUMFRIES  
REGIONAL MUNICIPALITY OF WATERLOO

**Owner's Certificate**  
I HEREBY AUTHORIZE MACNAUGHTON HERMES BRITTON CLARKSON PLANNING LIMITED  
TO SUBMIT THIS PLAN FOR APPROVAL  
DATE: March 19/21 Brian Domm  
Brian Domm, Owner

**Surveyor's Certificate**  
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED ON THIS PLAN AND  
THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE ACCURATELY AND CORRECTLY SHOWN  
DATE: April 8, 2021 Trevor D.A. McNeil  
Trevor D.A. McNeil, OLS (MTE OLS LTD.)

**Key Plan**

SCALE: NTS  
Source: SLRN, Region of Waterloo

Additional Information Required Under Section 51(17) of the Planning Act  
R.S.O. 1990, c.P.13 as Amended

A. AS SHOWN	B. AS SHOWN	C. AS SHOWN
D. RESIDENTIAL, MULTIPLE RESIDENTIAL, PARK, OPEN SPACE	E. AS SHOWN	F. AS SHOWN
H. MUNICIPAL WATER SUPPLY	I. LOAM	J. AS SHOWN
K. ALL SERVICES AS REQUIRED	L. AS SHOWN	

Area Schedule						30T-	
Description	STAGE 1			STAGE 2			Area (ha)
	Lots/Blks	Units	Area (ha)	Lots/Blks	Units	Area (ha)	
Residential/ Consolidation Block	1-14	88-104	3.669	1-7	26-30	1.469	
Park	15,16		0.886	8		0.074	
Emergency Access	17,18	5-6	0.302				
Walkway	19		0.018				
0.3m Reserve	20-22		0.003				
Roads			1.415			0.518	
Total	22	93-110	6.293	8	26-30	2.061	

Description	STAGE 3			TOTAL		
	Lots/Blks	Units	Area (ha)	Lots/Blks	Units	Area (ha)
Residential/ Consolidation Block				21	114-134	5.138
Multiple Residential/ Consolidation Block	1	0-12	0.126	1	0-12	0.126
Park				3		0.960
Emergency Access				2	5-6	0.302
Walkway				1		0.018
0.3m Reserve				3		0.003
Roads						1.933
Total	1	0-12	0.126	31	119-152	8.480

**Unit Calculations:**  
Minimum Unit Yield: 13.716m (45 ft) lots backing onto Open Space  
12.162m (40 ft) lots across from those lots backing onto Open Space  
10.972m (36 ft) lots for the remainder  
Concept Plan used for minimum number of units in multiple blocks  
Maximum Unit Yield: 12.162m (40 ft) lots backing onto Open Space  
10.972m (36 ft) lots across from those lots backing onto Open Space  
9.0m (30 ft) lots for the remainder  
100 units/ha used for maximum number of units in multiple blocks

**Notes**  
1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SHOWN.  
2. BOUNDARY INFORMATION FROM PLAN 58R-20576 PREPARED BY MTE ONTARIO LAND SURVEYORS LTD., NOVEMBER 6, 2020.  
3. TOPOGRAPHICAL BASE INFORMATION PROVIDED BY MTE.  
4. DRILLING AND WETLAND INFORMATION PROVIDED BY WSP.  
5. ADJACENT PARCEL FABRIC IS APPROXIMATE. ■■■■ DENOTES STAGE LIMITS

1.	Feb. 4, 2021	For Submission to Region of Waterloo;	DGS
Rev. No.	Date	Issued / Revision	By

**PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE**  
**MHBC**  
200-545 DUNDAS STREET WEST, 4TH FLOOR, TORONTO, ONT. M5G 1C6 | P: 416-593-8800 | F: 416-593-8801 | WWW.MHBCPLANCO.COM

Approval Stamp	Date	February 4, 2021
File No.	0800C	
Plan Scale	1:1,000 (30x30)	
Drawn By	D.G.S.	
Checked By	P.B.	

Project	Westwood Phase 2	Other
Applicant	Brian Domm 1359 Dickie Settlement Road Cambridge, ON. N3H 4R8 P: 519.623.5086 F: 519.623.8547	

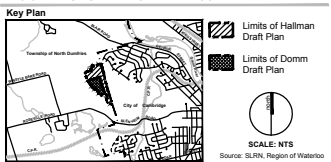
File Name	DRAFT PLAN	Dwg No.	1 of 1
Scale Bar	0 10 25 50 75 100m		



Figure 7

CONSOLIDATED  
DRAFT PLAN OF SUBDIVISION

Legal Description  
PART OF LOTS 13 AND 14, CONCESSION 11  
AND PART OF ROAD ALLOWANCE BETWEEN CONCESSIONS 11 & 12  
TOWNSHIP OF NORTH DUMFRIES  
REGIONAL MUNICIPALITY OF WATERLOO



Additional Information Required Under Section 51(17) of the Planning Act  
R.S.O. 1990, c.P.13 as Amended

A. AS SHOWN B. AS SHOWN C. AS SHOWN  
D. RESIDENTIAL, MULTIPLE RESIDENTIAL, PARK, WILDLIFE CORRIDOR  
E. AS SHOWN F. AS SHOWN G. AS SHOWN  
H. MUNICIPAL WATER SUPPLY I. LOAM J. AS SHOWN  
K. ALL SERVICES AS REQUIRED L. AS SHOWN

**Area Schedule - Halman Construction Limited 30T-**

Description	STAGE 1			STAGE 2		
	Lots/Bkls	Units	Area (ha)	Lots/Bkls	Units	Area (ha)
Residential/ Consolidation Block	1-13	83-115	2.809	1-9	82-98	3.745
Park	14		0.217			
Emergency Access	15	1-2	0.070	10	1	0.057
Wildlife Corridor	16		0.246			
0.3m Reserve	17-20		0.004	11,12		0.002
Roads			1.121			1.108
<b>Total</b>	<b>20</b>	<b>84-117</b>	<b>4.467</b>	<b>12</b>	<b>83-99</b>	<b>4.912</b>

**Area Schedule - Halman Construction Limited 30T-**

Description	STAGE 3			STAGE 4		
	Lots/Bkls	Units	Area (ha)	Lots/Bkls	Units	Area (ha)
Residential/ Consolidation Block	1-13	83-115	2.809	1-5	37-44	2.024
Multiple Residential/ Consolidation Block	1	59-185	1.857			
Emergency Access				6	1	0.046
0.3m Reserve				7-9		0.005
Roads						0.676
<b>Total</b>	<b>1</b>	<b>59-185</b>	<b>1.857</b>	<b>9</b>	<b>38-45</b>	<b>2.751</b>

**Area Schedule - Halman Construction Limited 30T-**

Description	STAGE 5			TOTAL		
	Lots/Bkls	Units	Area (ha)	Lots/Bkls	Units	Area (ha)
Residential/ Consolidation Block	1-4	47-58	2.542	30	249-315	11.120
Multiple Residential/ Consolidation Block				1	59-185	1.857
Park				1		0.217
Wildlife Corridor				1		0.246
Emergency Access				3	3-4	0.173
0.3m Reserve	5		0.001	10		0.012
Roads			0.417			3.322
<b>Total</b>	<b>5</b>	<b>47-58</b>	<b>2.960</b>	<b>46</b>	<b>311-504</b>	<b>16.947</b>

**Area Schedule - Brian Domm 30T-**

Description	STAGE 1			STAGE 2		
	Lots/Bkls	Units	Area (ha)	Lots/Bkls	Units	Area (ha)
Residential/ Consolidation Block	1-14	88-104	3.669	1-7	26-30	1.469
Park	15,16		0.886	8		0.074
Emergency Access	17,18	5-6	0.302			
Walkway	19		0.018			
0.3m Reserve	20-22		0.003			
Roads			1.415			0.518
<b>Total</b>	<b>22</b>	<b>93-110</b>	<b>6.293</b>	<b>8</b>	<b>26-30</b>	<b>2.061</b>

**Area Schedule - Brian Domm 30T-**

Description	STAGE 3			TOTAL		
	Lots/Bkls	Units	Area (ha)	Lots/Bkls	Units	Area (ha)
Residential/ Consolidation Block				21	114-134	5.138
Multiple Residential/ Consolidation Block	1	0-12	0.126	1	0-12	0.126
Park				3		0.960
Emergency Access				2	5-6	0.302
Walkway				1		0.018
0.3m Reserve				3		0.003
Roads						1.933
<b>Total</b>	<b>1</b>	<b>0-12</b>	<b>0.126</b>	<b>31</b>	<b>119-152</b>	<b>8.480</b>

**Total Number of Units Proposed for Entire Plan (Halman/Domm):430-666**

**Unit Calculations**

Minimum Unit Yield: 13.716m (45 ft) lots backing onto Open Space  
12.150m (40 ft) lots across from those lots backing onto Open Space  
10.972m (36 ft) lots for the remainder  
5.5m (18 ft) units from used for street townhouse blocks  
Concept Plan used for minimum number of units in multiple blocks

Maximum Unit Yield: 12.150m (40 ft) lots backing onto Open Space  
10.972m (36 ft) lots across from those lots backing onto Open Space  
8.0m (26 ft) lots for the remainder  
5.5m (18 ft) units from used for street townhouse blocks  
100 units/ha used for maximum number of units in multiple blocks

1. Feb.4, 2021 For Submission to Region of Waterloo; DGS  
Rev. No. Date Issued / Revision By



Approval Stamp Date February 4, 2021

File No. 0800C

Plan Scale 1:1,250 (scale)

Drawn By D.G.S.

Project Westwood Phase 2 Checked By P.B.

Applicant Halman Construction Limited/ Brian Domm

File Name DRAFT PLAN Dwg No. 1 of 1

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Scale Bar 0 10 20 30 40 50 60 70 80 90 100

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Scale Bar 0 10 20 30 40 50 60 70 80 90 100

Scale Bar 0 10 20 30 40 50 60 70 80 90 100

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**Notes**

1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SHOWN.  
2. BOUNDARY INFORMATION FROM PLAN SR-2078 PREPARED BY MTE ONTARIO LAND SURVEYORS LTD. NOVEMBER 6, 2020.  
3. TOPOGRAPHICAL BASE INFORMATION PROVIDED BY MTE.  
4. DRAINAGE AND WETLAND INFORMATION PROVIDED BY WSP.  
5. ADJACENT PARCEL FABRIC IS APPROXIMATE.  
■■■■■ DENOTES STAGE LIMITS

# 5.0 PROPOSED ZONING BY-LAW AMENDMENT

## 5.1 Amendment to the Township of North Dumfries Zoning By-law No. 689-83

The existing agricultural zoning pre-dates the Built-up Area and Urban Greenfield Area designations that apply to the subject lands (see **Figure 8** – Township of North Dumfries Zoning By-law 689-83). A zone change is required to implement these designations. As noted, one zone change application is proposed for both the Domm lands and lands owned by Hallman Construction Limited. The zone change application proposes to amend Township of North Dumfries Zoning By-law No. 689-83. The proposed zoning schedule is included as **Figure 9** of this report and a draft zoning by-law amendment is included as **Appendix F**. Proposed zoning is summarized as follows:

1. Lands located between the surveyed limits of Core Environmental Features and recommended setbacks are proposed to be zoned as Environmental Protection 1 (EP1) with a more restrictive range of uses consistent with the intent of the naturalized buffer that is proposed.
2. The central green and two parkettes are proposed to be zoned Open Space (Z12).
3. Single detached lots fronting public streets are proposed to be zoned Urban Residential (Z.4d) with special regulations.
4. Single detached vacant land condominium units are proposed to be zoned Urban Residential (Z.4d) with special regulations that anticipate and provide for a future condominium application.

5. Street fronting townhouse blocks are proposed to be zoned Z.4d.
6. Stage 3 of the Hallman and Domm subdivisions are proposed to be zoned Z.4d with special zoning provisions that provide for a range of multiple housing forms.

The special use and regulation provisions are similar to the zoning regulations that have been approved for the Westwood Village (Phase 1) Community. The special zoning provisions implement the various land uses contemplated by the proposed official plan amendment as well as the design direction set out in the Design Guidelines that have been prepared. Careful consideration has been given to appropriate zoning regulations for the vacant land condominium blocks.

## 5.2 Amendment to the City of Cambridge Zoning By-law No. 150-85

Stage 3 of each of the Hallman and Domm Plans of Subdivision are to be consolidated with Part of Block 15, Stage 6 of Subdivision 30T-16104, which is shown as a future development block on the Draft Plan of Subdivision. A zone change application has been submitted for the future development block. The proposed zoning schedule is included in **Appendix G**. The intent of the zone change application is to permit the same range of uses proposed for the Stage 3 lands located in the Township of North Dumfries. The consolidation of the lands recognizes future development that will be serviced from Newman Drive located within the City of Cambridge.



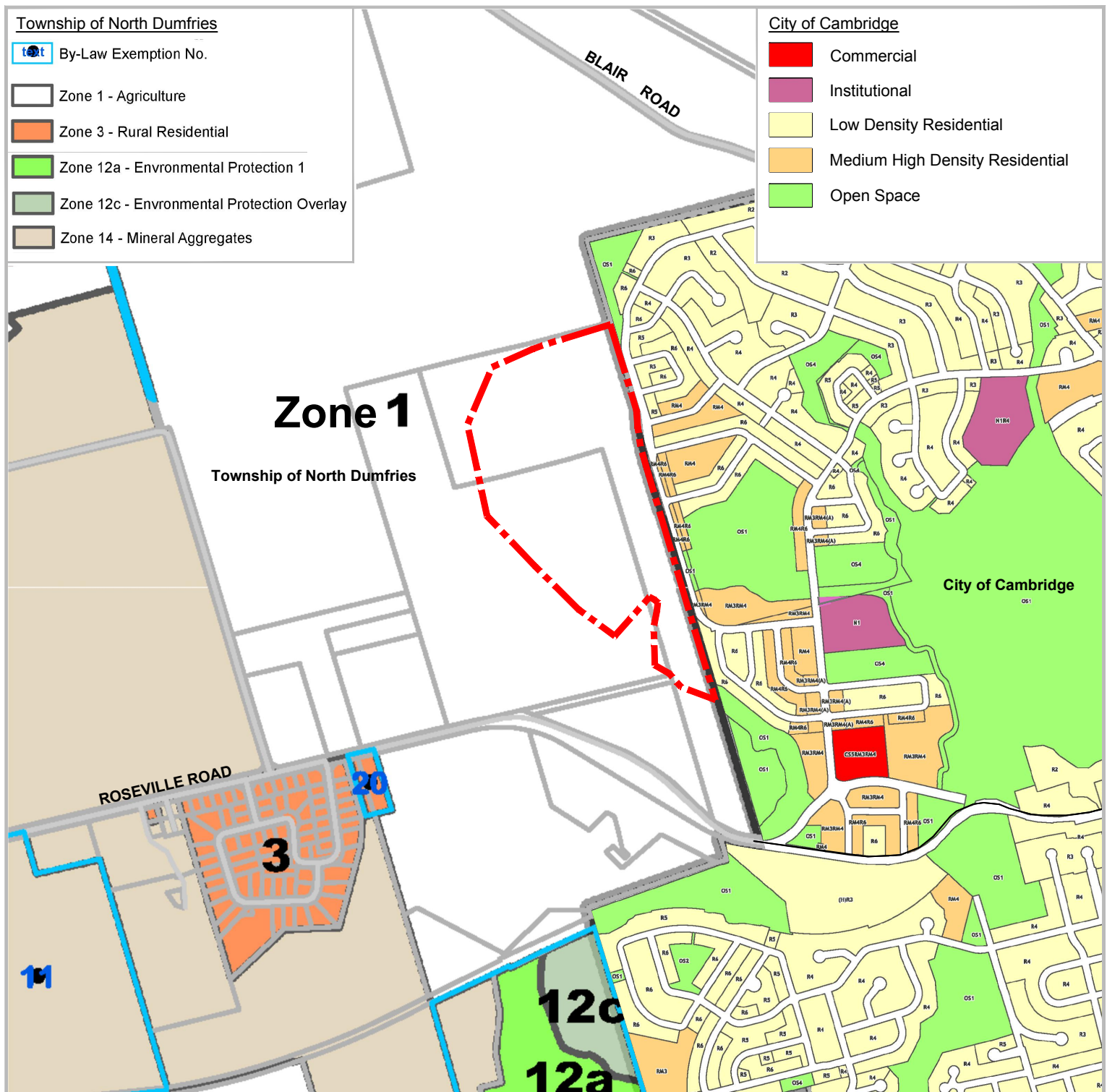


Figure 8  
**Zoning By-law  
Map**

**LEGEND**



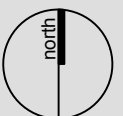
Westwood Village (Phase 2) Community

**DATE:** February 2021

**FILE:** 0800C

**SCALE** 1 : 15,000

**DRAWN:** DGS



K:\0800C-GATESTONE DEVELOPMENTS-NORTH DUMFRIES LANDSIRPT\ZONING MAP.DWG

**Hallman Construction Limited/  
Brian Domm**  
Township of North Dumfries  
Region of Waterloo

Base Map Sources:  
Township of North Dumfries Zoning By-law 689-83,  
Zoning Map North-Central Township (July 2019)  
City of Cambridge Interactive Zoning Portal (downloaded April 2020)

**MHBC** PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE  
200-540 BINGEMANS CENTRE DR., KITCHENER, ON, N2B 3X9  
P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM

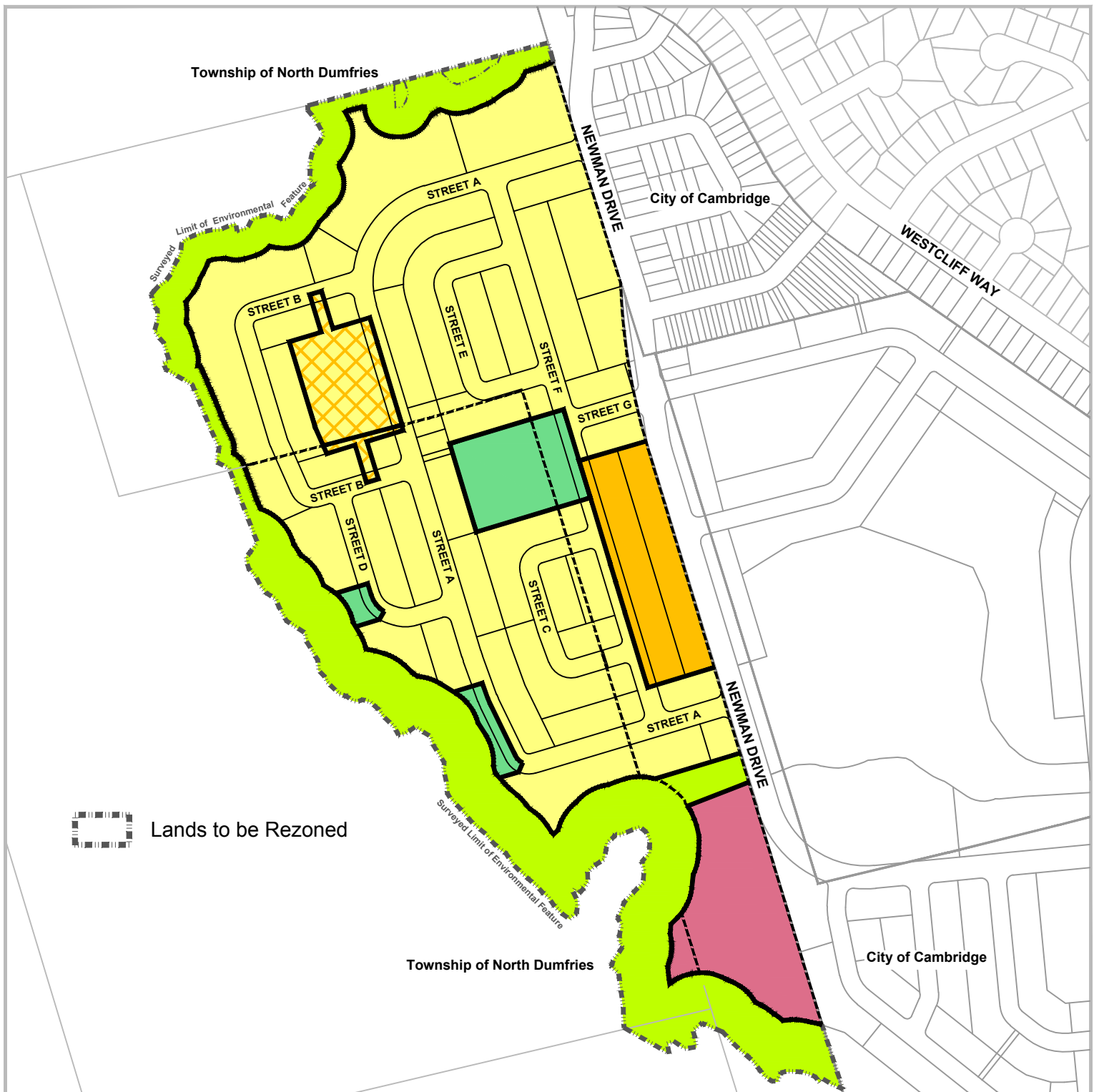








Figure 9  
**Proposed  
Zoning Schedule**

**Hallman  
Construction Limited/  
Brian Domm**  
Township of North Dumfries  
Region of Waterloo

-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Residential Zone 4d (Z.4d) with Special Exception 20.1.xxx to permit Residential Building (One Unit) 'Single Detached Dwelling'
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Residential Zone 4d (Z.4d) with Special Exception 20.1.xxx to permit Residential Building (ROW) 'Freehold Townhouse'
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Residential Zone 4d (Z.4d) with Special Exception 20.1.xxx to permit Residential Building (One Unit) 'Single Detached Dwelling'
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Residential Zone 4d (Z.4d) with Special Exception 20.1.xxx to permit Residential Building (ROW - Private Road) 'Cluster Townhouse', Residential Building (Stacked Townhouse) and Residential Building (Apartment)
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Open Space Zone 12 (Z.12) with Special Exception 20.1.xxx

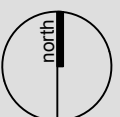
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Environmental Protection One (EP1) Zone 12A (Z.12A)

**DATE:** February 2021

**FILE:** 0800C

**SCALE:** NTS

**DRAWN:** DGS



# 6.0 SUMMARY OF REPORTS

A significant amount of fieldwork, monitoring and analysis has occurred and has informed the content of the official plan amendment, the proposed community design, plans of subdivision and amending zoning by-law. This work has been summarized in a number of reports that have been relied upon in evaluating consistency/conformity with the land use planning framework. An overview of the findings and conclusions of the various reports is summarized below.

## 6.1 Urban Design Guidelines – Prepared by MHBC Planning Limited (February 1, 2021)

The Urban Design Guidelines provides an overview and analysis of the proposed developments using thematic design principles to achieve a cohesive development with the Westwood Village (Phase 1) Community. These principles emphasize and include:

- Cultural and Natural Heritage
- Parks and Open Space
- Walkability, Active Transportation and Road Network
- Place-Making Project Features and Amenities
- Sustainability

The guidelines identify several design features in the proposed developments that make the subdivision in the Township desirable, such as the extensive park network; conservation of natural heritage resources; a mix and range of residential unit types; place-making and amenity features; sustainable design elements; age-friendly and crime preventative measures; and, enhanced streetscaping and sidewalks on both sides of all local streets. The guidelines conclude by indicating that the Community Concept Plan for the Westwood Village (Phase 2) Community will: integrate with the approved Westwood Village (Phase 1) Community and act as an extension of that community; provide for the long-term protection of Blair-Bechtel-Cruickston ESL, related Core Environmental Features, and adjacent natural environment; and, achieve a high level of design and provide access to amenities that support the community structure.

## 6.2 Financial Impact Assessment - Westwood Village (Phase 2) Community – Prepared by MTE Consultants and MHBC Planning Limited (April, 2021)

A Financial Impact Assessment has been prepared and addresses growth related Township and City of Cambridge infrastructure, anticipated Township development charge and tax revenue as well as ongoing maintenance and replacement costs. The assessment identifies growth related municipal services that will benefit the Westwood Village (Phase 2) Community including:

- Municipal wide services within the Township of North Dumfries.
- Local services within the Phase 2 Community.
- Services within the Westwood Village (Phase 1) Community located in the City of Cambridge that have been planned to accommodate the Phase 2 Community.

The assessment analyses services within the Westwood Village (Phase 1) Community that benefit the Westwood Village (Phase 2) Community and quantifies the associated capital and maintenance costs. Anticipated development charge and tax assessment has been estimated for the Phase 2 Community.

The assessment includes a number of summary comments which can be considered by the Township of North Dumfries and the City of Cambridge as input to discussions regarding the content of a cross border servicing agreement or a decision to incorporate the Phase 2 lands into the City of Cambridge.

## 6.3 Functional Servicing Report (FSR) – Prepared by MTE Consultants (April 19, 2021)

The Functional Servicing Report (FSR) builds upon the approved Master Environmental Servicing Plan (MESP) as well as more detailed servicing plans that have been prepared for the Westwood Village (Phase 1) Community. The proposed servicing design takes approved servicing plans, topography, drainage, the natural environment, hydrological fieldwork and right-of-way standards of the City of Cambridge into consideration.

The FSR outlines a range of matters to be considered in the grading design for the plans of subdivision. To this end, preliminary road grade plans and a preliminary grading plan have been prepared and coordinated with a municipal servicing design relating to sanitary servicing, water distribution, storm drainage, stormwater management and utilities. The FSR confirms:

- The subdivisions have been designed to implement the Cambridge West Master Environmental Servicing Plan;
- Adequate capacity exists in the Galt Wastewater Treatment Plan;

- Planned services are appropriate and adequate; and,
- The servicing of the subdivisions represents the logical extension of services planned for the Westwood Village (Phase 1) Community.

## 6.4 Hydrogeological Report – Prepared by MTE Consultants (April 19, 2021)

A hydrogeological assessment was prepared by MTE Consultants. The hydrogeological assessment describes: the hydrogeology in the area, evaluates potential impacts the proposed development may have on the groundwater table, adjacent natural heritage features, private wells and municipal wells; recommends mitigation measures and recommends a groundwater monitoring program (pre, during and post development monitoring).

The hydrogeological assessment details a number of conclusions. Some of the most notable conclusions are as follows:

- Adjacent Wetlands 4 and 5 are largely sustained by surface water runoff and surface water inputs to these wetlands will be maintained under post-development conditions.
- No significant drinking water policies apply to the Westwood Village (Phase 2) Community and the proposed development will not adversely impact the drinking water supply.
- There are no private and/or municipal wells within 100 metres of the Westwood Village (Phase 2) Community and long term impacts to private water well users and/or municipal wells are not anticipated.
- There will be adequate separation between the underside of basements and the groundwater table.



The hydrogeological assessment recommends an amendment to the pre-development monitoring program outlined in the Cambridge West MESP for the subject lands to the effect that continuous water level measurements should occur to ensure an understanding of fluctuations in the shallow groundwater flow system. The hydrogeological assessment also recommends groundwater sampling to ensure an understanding of general chemistry parameters. Other recommendations include decommissioning of monitoring wells and the completion of a dewatering assessment during final engineering design. The pre-development monitoring, decommissioning and dewatering assessment recommendations can be addressed through conditions of draft plan approval.

## 6.5 Preliminary Stormwater Management Report – Prepared by MTE Consultants (April 19, 2021)

The Preliminary Stormwater Management Report outlines a stormwater management strategy that has been coordinated together with the servicing strategy outlined in MTE's FSR. The Preliminary Stormwater Management Report has appropriately considered the Cambridge West Master Environmental Servicing Plan as well as direction received at the pre-submission consultation meeting to consider the feasibility and environmental benefits of eliminating the approved stormwater management facility located within the Blair Bechtel Cruickston ESL.

The Preliminary Stormwater Management Report documents design criteria, recommends a comprehensive plan for controlling the quantity and quality of stormwater runoff, recommends a plan for balancing infiltration to groundwater and surface water and maintaining hydrologic inputs to adjacent environmental features.

The Preliminary Stormwater Management Report concludes that the proposed subdivisions can be adequately attenuated by Stormwater Management Facility No. 2 located within Subdivision 30T-16103.

The Preliminary Stormwater Management Report also confirms infiltration targets can be met and hydrologic inputs to existing wetlands and environmental features will be maintained under post-development conditions.

A Chloride Impact Assessment has been prepared and concludes the expected average post-development groundwater chloride concentration is below the maximum Ontario drinking water standard and reasonable use concept limit.

## **6.6 Preliminary Environmental Noise Assessment – Prepared by MTE Consultants (April 19, 2021)**

The Preliminary Environmental Noise Assessment evaluates noise associated with traffic volumes projected for adjacent Newman Drive. The assessment concludes that a special building components analysis is not required and also confirms noise attenuation barriers are not necessary.

The assessment identifies setback lines and directs that buildings proposed between Newman Drive and identified setbacks are to be fitted with forced air heating systems to permit the future installation of central air conditioners. Appropriate noise warning clauses for certain blocks adjacent to Newman Drive are also recommended. The recommendations of the Preliminary Environmental Noise Assessment can be addressed by relatively standard conditions of draft plan approval.



## 6.7 Westwood Village Phase 2 Scoped Environmental Impact Study (EIS) Report – Prepared by WSP Canada Inc. (April, 2021)

A Scoped Environmental Impact Study (EIS) has been prepared in accordance with Terms of Reference (TOR) that have been reviewed by the Region of Waterloo, the Region's EACC Committee, the City of Cambridge, the Township of North Dumfries and GRCA. The EIS builds upon extensive fieldwork and several reports that have been prepared for the subject lands and/or the broader study area. The Cambridge West Master Environmental Servicing Plan provides foundational information and fieldwork for the scoped EIS. This work has been supplemented by additional ecological monitoring and field surveys.

The proposed plans of subdivision are adjacent to the Blair Bechtel Cruickston ESL and related Core Environmental Features. The limits of adjacent features have been "field verified" and surveyed. The EIS recommends setbacks from these features with the intervening lands intended to be established as naturalized buffers to ensure the environment features are protected for the long term. Recommended setbacks were used to delineate the limits of the proposed plans of subdivision.

The EIS identifies buffer management objectives and related recommendations. The EIS also considers the direction received from the Township to eliminate the stormwater management facility within the ESL such that development runoff is directed to Stormwater Management Facility No. 2 located within the limits of Subdivision 30T-16103. The EIS supports the revised stormwater management strategy for the subject lands as a net environmental benefit and recommends maintaining hydrological water inputs to adjacent natural features under post-development conditions.

The EIS includes a number of recommendations relating to mitigation measures associated with adjacent environmental features. The mitigation measures can be implemented through conditions of draft plan approval. Biological monitoring of the general study area has been ongoing for a number of years. The EIS outlines a three stage biological monitoring program (pre-construction, during construction and post-construction monitoring). The recommended biological monitoring program is appropriate and can be implemented through draft plan conditions.

The EIS includes a number of recommendations and concludes that with implementation of recommended protection, mitigation and enhancement measures, residual impacts to adjacent Natural Heritage Features are anticipated to be minor and the ecological and hydrogeological functions of those features will be maintained.

## 6.8 Transportation Impact Study (TIS) – Prepared by Paradigm Transportation Solutions Limited (April, 2021)

A Traffic Impact Study (TIS) has been prepared and builds upon the extensive traffic analysis that occurred in the context of the Class EA process associated with the collector road network, the Westwood Village (Phase 1) Community and related subdivisions. The TIS has been prepared in accordance with Regional Municipality of Waterloo guidelines and direction received at a pre-study consultation meeting that took place on October 3, 2019.

Development of the Westwood Village (Phase 2) Community was considered in the comprehensive transportation planning associated with the Westwood Village (Phase 1) Community. The TIS concludes there is only a minor increase in unit potential from what was assumed by previous studies. Development of the Phase 2 Community is contingent upon services to be constructed within the Phase 1 Community,

and associated road improvements. The TIS appropriately assumes the road improvements required for the Phase 1 Community are in place prior to the development of the Phase 2 Community. The TIS concludes there will be adequate road network capacity and that identified development related traffic operation improvements will mitigate traffic associated with the Westwood Village (Phase 1 and Phase 2) Communities.

# 7.0 POLICY ANALYSIS

Section 2 of the Planning Act sets out matters of provincial interest that decision makers shall have regard to in carrying out their responsibilities. The provincial interest in land use planning is largely reflected in the provincial policy framework, official plans that implement provincial policies and through consideration of applications made under the Planning Act. It is recognized that the official plan is the most important vehicle to integrate and comprehensively implement provincial policies.

The Regional Official Plan and the Township Official Plan have been brought into conformity with the Growth Plan (2005) and the Provincial Policy Statement (PPS) that were in effect when the Regional Official Plan and Township Official Plan were approved. Current provincial policies build upon these documents. This report synthesizes common policy themes in an effort to avoid restating policies that deal with the same subject matters. The policy analysis takes a similar approach.

## 7.1 Provincial Policy Framework – A Place to Grow – Growth Plan (2020) & the Provincial Policy Statement (2020)

The Places to Grow Act, 2005 provides for the development and approval of Regional Growth Plans that are to guide government investments, land use planning policies and decisions. Waterloo Region is located within the Greater Golden Horseshoe and A Place to Grow - Growth Plan for the Greater Golden Horseshoe (2020) applies as does the 2020 Provincial Policy Statement (PPS).

The Growth Plan (2020) builds upon the initial Growth Plan (2006) and subsequent policy amendments. The Growth Plan (2020) came into effect on August 28, 2020. All decisions in respect of the exercise of any authority that affects a planning matter are to conform with the Growth Plan. There are a number of policies that relate to growth forecasts, density and intensification targets that are to be implemented through the Region of Waterloo's ongoing Municipal Comprehensive Review (MCR) process.

The Growth Plan includes a growth concept reproduced as **Figure 10** of this report as well as a policy framework relating to: "Where and How to Grow"; infrastructure planning; climate change; and the protection of water resources, the natural environment, hydrologic features and areas, public open space, agricultural systems, as well as cultural heritage and aggregate resources. The Growth Plan directs the vast majority of growth to settlement areas and prioritizes intensification both generally and in strategic growth areas and as the basis to focus investments in transit, other types of infrastructure and public service facilities.

The policies of the Growth Plan support the achievement of complete communities which, among other matters, include a mix of land uses and a diverse range and mix of housing options. Other policy objectives include achieving higher densities in greenfield areas and achieving intensification targets to ensure the efficient use of land, existing infrastructure and public service facilities.

The 2020 Provincial Policy Statement (PPS) was issued by the Province of Ontario in accordance with Section 3 of the Planning Act and replaces the PPS that was issued on April 30, 2014. The Provincial Policy Statement (PPS) has similar policy direction and provides an overall policy framework with respect to matters of Provincial interest related to land use and development in Ontario. The PPS applies province-wide except where the PPS or another provincial plan provide otherwise.

The PPS provides policy direction on matters of provincial interest related to land use planning and development. All decisions affecting planning matters are to be consistent with the PPS. Similar to the Growth Plan, the PPS is to be read in its entirety and the relevant policies are to be applied to each situation.

The PPS outlines a vision for Ontario's land use planning system which among other matters: focuses growth and development within urban and rural settlement areas; provides for the management of land use change; directs the achievement of appropriate development that meets current and future needs; contemplates efficient development patterns; and provides for the protection of significant or sensitive resources.

Development patterns are to optimize the use of land, resources and public investment in infrastructure and public service facilities. The PPS confirms that the wise use and management of the province's natural heritage resources is a key provincial interest as is the protection of the overall health and safety of the population of Ontario.

There are a number of policies that implement the vision and underlying objectives of the PPS. The policies:

- Focus growth and development within settlement areas.
- Manage and direct land use to achieve efficient and resilient development and land use patterns.
- Promote coordination, integration and comprehensive planning within and between municipalities.
- Provide for an appropriate range and mix of housing options and densities.
- Direct that planning promote and provide public spaces, recreation, parks, trails and open space.
- Direct the efficient provision of infrastructure and public service facilities, sewage water and stormwater services.

- Require infrastructure and public service facilities to be integrated and coordinated with land use planning.
- Support energy conservation, air quality and consider the impacts of a changing climate.
- Require that provincially significant natural features and areas are to be protected for the long term.
- Direct the protection, improvement or restoration of the quality and quantity of water.
- Direct development to areas outside of hazardous lands.
- Direct that significant built heritage resources and cultural heritage landscapes are to be preserved.

## 7.2 Overview of the Regional Official Plan (ROP)

The Regional Official Plan (ROP) was approved in June of 2015 and as an implementation of the 2006 Places to Grow – Growth Plan. As of the date of this report, the Region was undertaking a Municipal Comprehensive Review process to implement A Place to Growth – Growth Plan (2020) and the Provincial Policy Statement (2020).

Map 3a of the ROP (**Figure 11** of this report) confirms the subject lands are in proximity to the designated Built-up Area and are designated as “Urban Designated Greenfield Area” which forms part of the Region’s designated “Urban Area”. The ROP confirms designated Urban Areas have the greatest capacity to accommodate growth and are to be the primary focus for employment, housing, cultural and recreational opportunities in the Region.

The ROP directs that the Region’s designated greenfield areas that serve primarily a residential function are to be planned to meet or exceed a minimum density of 55 residents and jobs combined per hectare. This density target is to be measured across the entire Urban Designated Greenfield Area. This density target

remains “in effect” pending any alternative target that may be approved through the Region’s ongoing Municipal Comprehensive Review process.

Map 4 of the ROP (**Figure 12** of this report) identifies a Greenlands Network which is comprised of Core Environmental Features and Landscape Level Systems. The Greenlands Network was considered in planning the Westwood Village (Phase 2) Community. Suffice it to say, the long-term protection of designated natural heritage features has been a priority consideration.

The Blair-Bechtel-Cruickston ESL is located immediately west of the Westwood Village (Phase 2) Community. Policies relating to landscape level systems focus on protecting and enhancing the ecological integrity and functions of the landscape and provide for: the long-term protection of ESL’s from urban development; the continuation of agricultural and related uses; and prohibit the expansion of urban areas within or into environmentally sensitive landscapes. The Blair Bechtel-Cruickston ESL delineates the long-term urban boundary of the Westwood Village (Phase 2) Community. The limits of Core Environmental Features within the ESL and adjacent to the subject lands have been surveyed. Naturalized buffers are proposed as a measure to protect Core Environmental Features and define the western, northern and southern limits of the Westwood Village (Phase 2) Community.

rare is a major landowner both to the north and west of the Westwood Village (Phase 2) Community . rare has established a Charitable Research Reserve and has a vision of “offering a diverse network of connected natural areas, protected intact and in perpetuity.” Much of the ESL includes the rare Charitable Research Reserve. rare’s vision is compatible with the ESL policy framework.

The ESL policy framework together with the mandate of rare were significant considerations in establishing the Urban Area Boundary, delineating the Countryside Line, finalizing the Cambridge West Collector Road



Network and establishing development limits and related buffers associated with the Westwood Village (Phase 2) Community and proposed plans of subdivision.

The ROP includes policies related to the protection and conservation of the Region's drinking-water resources including Wellhead Protection Sensitivity Areas (WPSAs) which are classified from 1 – 8. The classifications allow for varying degrees of management relative to the vulnerability of the underlying groundwater, the importance of the well to the capacity of the Region's municipal drinking water supply as well as the length of time groundwater within a WPSA takes to reach the municipal drinking water supply well. Map 6a of the ROP (included as **Figure 13** of this report) confirms the subject lands are within Wellhead Protection Sensitivity Area 8. WPSA 8 delineates the area outside of the peak 10 year time of travel to the limit of the total land area contributing water to a municipal drinking water supply well.

The ROP acknowledges that the quantity and quality of drinking water is affected by land uses and that not all land uses pose the same level of risk to drinking water. The ROP identifies four categories of land uses based on the associated level of risk. The residential land uses that are proposed are considered to be a relatively low risk within WSPA 8 and conform with the wellhead protection policies of the ROP.

## 7.3 Overview of the Township Official Plan

The "in effect" Township of North Dumfries Official Plan was brought into conformity with the Regional Official Plan (ROP) through final approval of Official Plan Amendment No. 26. The Township Official Plan as amended, confirms (among other matters) a planned Township structure, a residential growth strategy, an employment land strategy, a reurbanization target, the extent of the Urban and Township Urban Areas and designated greenfield area as well as, land use designations and related policies.

Map 2 of the Township Official Plan (**Figure 14** of this report) confirms the subject lands are designated as “Urban Area” and “Designated Greenfield Area”. It is relevant to note that the subject lands are the only designated Urban Area in the Township of North Dumfries and as a result, are anticipated to develop at higher urban area densities. This has been acknowledged by Policy 2.5.2(b)(iv) of the Township Official Plan which confirms the Phase 2 Community will be planned and developed to meet or exceed minimum density targets of the Township Urban Areas.

As noted in Section 4.1 of this report, the subject lands are subject to Policy 2.1.4 of the Township Official Plan. This policy addresses a number of matters and confirms: the Urban Area designation that applies to the subject lands; the intent the subject lands are to be developed on municipal water and wastewater services through the City of Cambridge; a population forecast of 1,400 people for the subject lands; process considerations, and a requirement to update the traffic impact study that was approved for the Westwood Village (Phase 1) Community. Policy 2.1.4 also confirms that final development approval is subject to either a cross border servicing agreement or confirmation that the subject lands have been incorporated into the City of Cambridge. Finally, Policy 2.1.4 confirms the requirement for an official plan amendment, matters to be addressed by the amendment as well studies to be prepared in support of the official plan amendment.

The North Dumfries Official Plan includes population forecasts for the Township as a whole as well as for the subject lands and in this regard, reference is made to Policy 2.1.4 summarized above and Table 1 (Population and Employment Forecasts) of the Official Plan. The forecasts are not considered to be “absolute” or a cap on development. This opinion considers: Note 3 of Table 1 of both the Township Official Plan and the Regional Official Plan, as well as other policies which encourage and promote intensification (both generally and in strategic locations), the efficient use of land and infrastructure, and density targets which are specified as “minimum” targets. Note 3, Table 1 of both the Township and Regional Official Plans are clear in confirming the population numbers are intended to be a forecast and that, the amount and timing of

development of lands is not to be restricted on the basis that the forecasts could be exceeded. **Table 5** of this report confirms a population implemented with the plan of subdivision is 1,308 to 1,778 people. The average between the low and high population is 1,543 which is in general accordance with the population estimate outlined in the Township Official Plan.

The Township Official Plan implements the Greenland Network of the Regional Official Plan. Map 5A of the Township Official Plan (**Figure 15** of this report) identifies Core Environmental Features and confirms there are no such features located within the limits of the proposed plans of subdivision. The subject lands are located adjacent to the Blair-Bechtel-Cruickston ESL and associated Core Environmental Features. In consideration of this “adjacency”, both the ROP and the Township Official Plan require that the applications be supported by an Environmental Impact Statement (EIS). An EIS has been prepared by WSP Canada Ltd. in accordance with an approved Terms of Reference. The EIS has been considered in preparing this report, forms part of the basis of the proposed official plan amendment and has been submitted in support of the planning applications.

Similar to the ROP, the Township Official Plan recognizes the importance of watershed studies to land use planning. Policy 6.2.12 applies to the subject lands and acknowledges the Cambridge West Subwatershed Study (Newman Creek, Cruickston Creek, Barrie’s Lake and Gilholm Marsh) and directs that the study be considered by the Official Plan Amendment proposed for the subject lands.

The Township Official Plan includes housing policies that encourage a mix and range of housing types, sizes and densities to meet the needs of existing and future residents. Other relevant policies deal with a range of considerations including land use compatibility.

## 7.4 Conformity/Consistency with Provincial, Regional and Municipal Planning Policies

The proposed official plan amendment, plans of subdivision, zone change applications and related reports have carefully considered the land use planning framework. The overall approach to the proposals has been to coordinate land use planning with infrastructure, existing/planned public service facilities and transportation (including active transportation and the potential introduction of transit to the community). The proposed Official Plan Amendment together with the Township Official Plan and the Regional Official Plan provide appropriate guidance to the detailed planning and development of the Westwood Village (Phase 2) Community.

It is concluded that, the Official Plan Amendment, Zoning By-law Amendment and plans of subdivision that are proposed:

1. Implement the Cambridge West MESP (subject to an appropriate amendment to the stormwater management strategy approved for the subject lands).
2. Conform to the Regional Official Plan (ROP).
3. Conform to the general policy framework of the Township of North Dumfries Official Plan.
4. Conform to a Place to Grow - Growth Plan (2020).
5. Are consistent with the Provincial Policy Statement (2020).
6. Have had adequate regard to matters of Provincial interest as set out in Section 2 of the Planning Act.
7. Represent good planning.

The rationale in support of these conclusions is summarized below.

## 7.4.1 Where and How to Grow, Growth Management & Directing Land Use

The subject lands are located within the designated “Urban Area” and more particularly, the Urban Designated Greenfield Area as identified by the approved Regional Official Plan and the Township of North Dumfries Official Plan. The policy framework provides that growth and development will be focused within designated urban and rural settlement areas. The ROP confirms that the designated Urban Area have the greatest capacity to accommodate growth and are to be the primary focus for employment, housing, cultural and recreational opportunities in the Region.

An objective of the planning policy framework is to build more compact greenfield communities that achieve minimum density targets in support of transit. The Westwood Village (Phase 2) Community has been planned to meet and exceed the density targets of the “in effect” ROP and a Place to Grow - Growth Plan. The proposed densities and the design of the Westwood Village Phase 1 and Phase 2 Communities support the introduction of transit to the area.

The Westwood Village (Phase 2) Community has been planned as an extension of and to integrate with the Westwood Village (Phase 1) Community. Infrastructure has been planned comprehensively and integrated with subwatershed planning, class environmental assessments and other planning processes. Infrastructure that has been planned using an “integrated” approach includes sanitary sewers, water distribution, storm water management facilities, storm sewers and a collector road network. Much of this planning occurred in the context of the approved Cambridge West Master Environmental Servicing Plan (MESP) which satisfied Phases 1 and 2 of the Class EA process. The collector road network also required the completion of Phases 3, 4 and 5 of the EA process. Phases 3 and 4 were concluded through final approval of the Cambridge West Collector Road Official Plan Amendment, the filing of an Environmental Study Report (ESR) and formal notice of study completion.

The Township Official Plan and the approved servicing strategy contemplate that the Phase 2 Community will be developed on municipal water and wastewater services that are to be extended through the Phase 1 Community. Services such as Stormwater Management Facility No. 2, sanitary sewers, watermains, storm sewers, and hydro have been planned and designed to accommodate the Phase 2 Community.

The approved road network provides for the logical extension of services. Utilizing planned services will achieve cost effective development and optimize investments in road and servicing infrastructure. The Phase 2 Community builds upon and supports the urban structure and the land uses that have been approved for the Phase 1 Community. The Phase 1 and Phase 2 Communities when considered together, provide a diverse range and mix of housing options to accommodate people at all stages of life and the needs of households of various sizes and incomes. The approved ROP includes affordable housing policies which direct that a minimum of 30% of new residential units are to be planned in forms other than single-detached and semi-detached units, such as town homes and multi-unit residential buildings. The Phase 1 and 2 Community meet and exceed this minimum target.

Considerable attention has been given to the design of the community. Implementation of proposed design guidelines and official plan policies will achieve a compact built-form, a well-designed community and a vibrant public realm. Proposed sustainability measures, the design of the community and the recommended stormwater management/infiltration strategy consider the impacts of a changing climate and the principles of sustainable development. The Phase 2 Community connects to the active transportation network planned for the Phase 1 Community and includes an extensive trail and sidewalk system that has been planned to be safe, AODA compliant and convenient to future residents.

The planning applications have considered and integrated planning considerations of the Region, the Township of North Dumfries and the City of Cambridge. The pre-submission consultation process involved



all three municipalities. The planning framework ensures the interests of all are appropriately considered and in this regard, service delivery, cross-border servicing and/or incorporating the subject lands into the City of Cambridge are matters to be addressed through the process and prior to final approval.

## 7.4.2 Coordinated Approach to Infrastructure & Park Planning

As noted, comprehensive and integrated planning processes have taken place and include the preparation and approval of the Cambridge West Master Environmental Servicing Plan (MESP). This study confirmed infrastructure requirements and was coordinated together with the completion of a subwatershed study master drainage plan for the area. A Municipal Class Environmental Assessment (EA) process was integrated with planning processes associated with the Westwood Village (Phase 1) Community. These processes considered servicing requirements associated with the Phase 1 and Phase 2 Communities. One outcome of this integrated process was the finalization of a collector road network. The approved collector road network includes the realignment of Blenheim Road and the extension of Bismark Drive and Newman Drive. The Newman Drive extension delineates the eastern boundary of the Phase 2 Community and proposed streets will directly connect to Newman Drive. The approved collector road network links to the Regional Road system and will have capacity to accommodate the Phase 2 Community.

The approved MESP documents a storm water management strategy for the Phase 1 and Phase 2 Communities and provides for a storm water management facility in association with a wetland located within the Blair/Bechtel/Cruickston ESL located to the west. This aspect of the approved stormwater management strategy has been re-visited at the request of Township staff. The proposed strategy will direct most of the post development drainage from the Phase 2 Community to Stormwater Management Pond Number 2 located within the Phase 1 Community. Clean water will be directed to the wetland to ensure pre-development water contributions to the wetland are maintained.

Proposed public spaces and parks have been located and designed to complement and build upon park planning associated with the Phase 1 Community. The proposed sidewalk and walkway system “tie” the two communities together and connect parks, open space and recreation opportunities that are planned for the area.

### 7.4.3 Protecting What is Valuable

A subwatershed/ecosystem approach was taken to ensure the comprehensive consideration of Core Environmental Features within the broader study area associated with the Cambridge West MESP. There are no Core Environmental Features located within the limits of the Westwood Village (Phase 2) Community. The Community is however, adjacent to the Blair/Bechtel/Cruickston ESL and associated environmental features. The limits of environmental features have been surveyed and evaluated through the MESP and the EIS prepared in support of the planning applications. These reports have informed recommendations regarding appropriate buffers. Buffers are to be naturalized and serve to define the northern, western and southern limits of development.

Detailed field work, modelling and water monitoring has taken place to understand the groundwater regime and hydrologic relationships between the subject lands and environmental features located within the adjacent ESL. A water balance, storm water management and infiltration strategy are proposed with the objective of maintaining hydrologic contributions to environmental features.

As noted above, a modification to the approved stormwater management strategy is recommended. The revised strategy ensures chlorides associated with urban development are directed away from the ESL and to Stormwater Management Facility No. 2, the Princess Street storm sewer located in the City of Cambridge and ultimately the Grand River.

A distributed approach to ground water infiltration with a contingency factor is proposed and achieves a distributed approach to infiltration. It is understood that post-development infiltration will meet and exceed the infiltration targets of the approved MESP.

#### 7.4.4 Land Use Compatibility & Other Considerations

The Phase 2 Community has been planned to integrate with and complement the Phase 1 Community. The residential land uses and distribution of same have been planned in a manner that is compatible with the Phase 1 Community. Existing development is well separated from the Phase 2 Community such that land use compatibility is not considered to be an issue.

#### 7.4.5 Summary

In summary, the proposed applications reflect the comprehensive and integrated consideration of the land use planning framework. The proposals effectively coordinate land use, infrastructure and the protection of significant environmental features and when implemented will achieve a well-designed community. The proposed Official Plan Amendment provides appropriate guidance to more detailed planning and the development of the Westwood Village (Phase 2) Community. The two draft plans of subdivision have been designed together to achieve a coordinated approach to the design and development of the community. The proposed subdivision plans build upon the planning associated with the Phase 1 Community and provide for the seamless integration of the two communities.

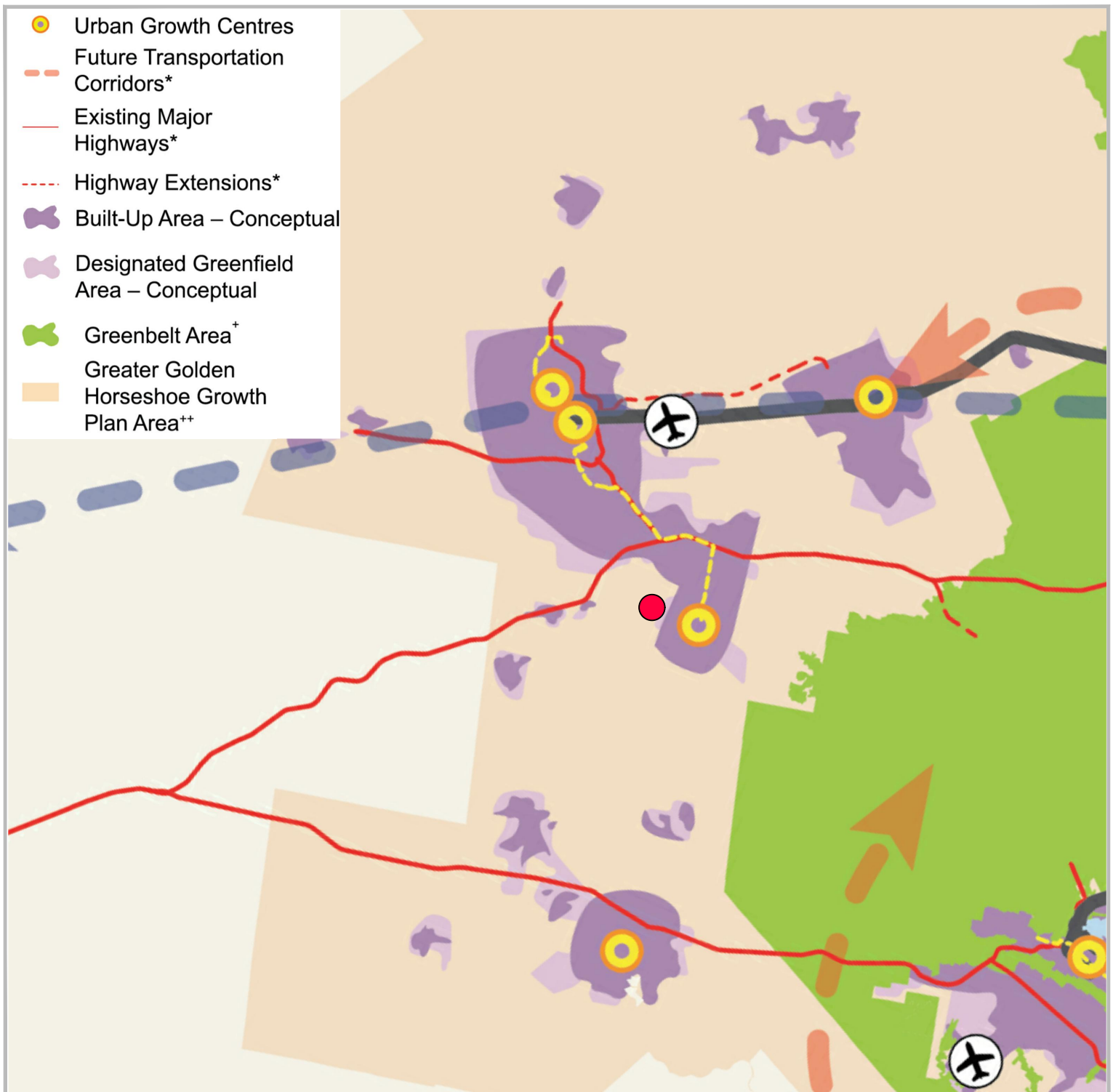


Figure 10

## A Place to Grow Concept

### LEGEND

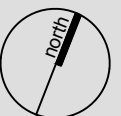
- Westwood Village (Phase 2) Community

DATE: February 2021

FILE: 0800C

SCALE: NTS

DRAWN: DGS



**Hallman Construction Limited/  
Brian Domm**  
Township of North Dumfries  
Region of Waterloo

Base Map Source:  
'A Place to Grow Growth Plan for the Greater Golden Horseshoe' Office  
Consolidation August 2020 Produced by and using data sources from the Ministry  
of Municipal Affairs, Ministry of Natural Resources and Forestry and the Ministry of  
Transportation © Queen's Printer for Ontario

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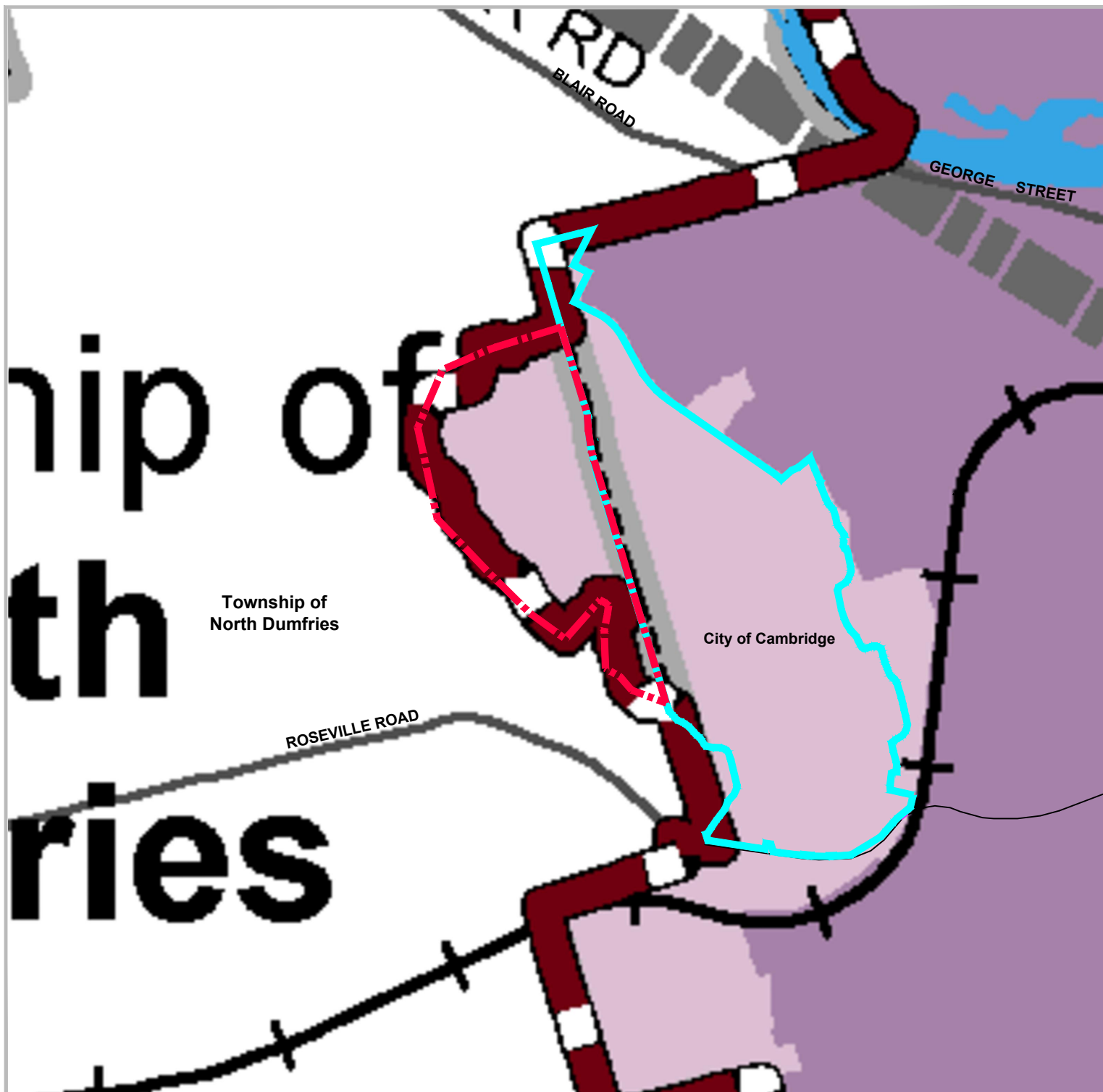


Figure 11

## Region of Waterloo Official Plan

Map 3a -  
Urban Area

Hallman Construction Limited/  
Brian Domm  
Township of North Dumfries  
Region of Waterloo

### LEGEND

- Westwood Village (Phase 2) Community
- Westwood Village (Phase 1) Community
- Built-Up Area
- Urban Designated Greenfield Areas
- Urban Area
- Environmental Assessment Study Area

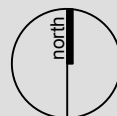
Base Map Source: Region of Waterloo, Regional Official Plan (June 18, 2015)

DATE: February 2021

FILE: 0800C

SCALE 1 : 15,000

DRAWN: DGS



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Figure 12

**Region of Waterloo  
Official Plan**  
Map 4 -  
Greenlands Network

Hallman Construction Limited/  
Brian Domm  
Township of North Dumfries  
Region of Waterloo

**LEGEND**

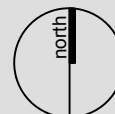
-  Westwood Village (Phase 2) Community
-  Environmentally Sensitive Landscape
-  Core Environmental Features
-  Municipal Boundary

**DATE:** February 2021

**FILE:** 0800C

**SCALE** 1 : 15,000

**DRAWN:** DGS



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Base Map Source: Region of Waterloo, Regional Official Plan (June 18, 2015)





Figure 13

## Region of Waterloo Official Plan

Map 6a -  
Urban Area Source  
Water Protection Areas

Hallman Construction Limited/  
Brian Domm  
Township of North Dumfries  
Region of Waterloo

### LEGEND



Westwood Village (Phase 2) Community

### Wellhead Protection Areas



WPSA-1



WPSA-7



WPSA-4



WPSA-8



WPSA-5



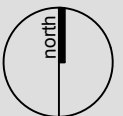
Municipal  
Wellheads

DATE: February 2021

FILE: 0800C

SCALE 1 : 15,000

DRAWN: DGS



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Base Map Source: Region of Waterloo, Regional Official Plan (June 18, 2015)

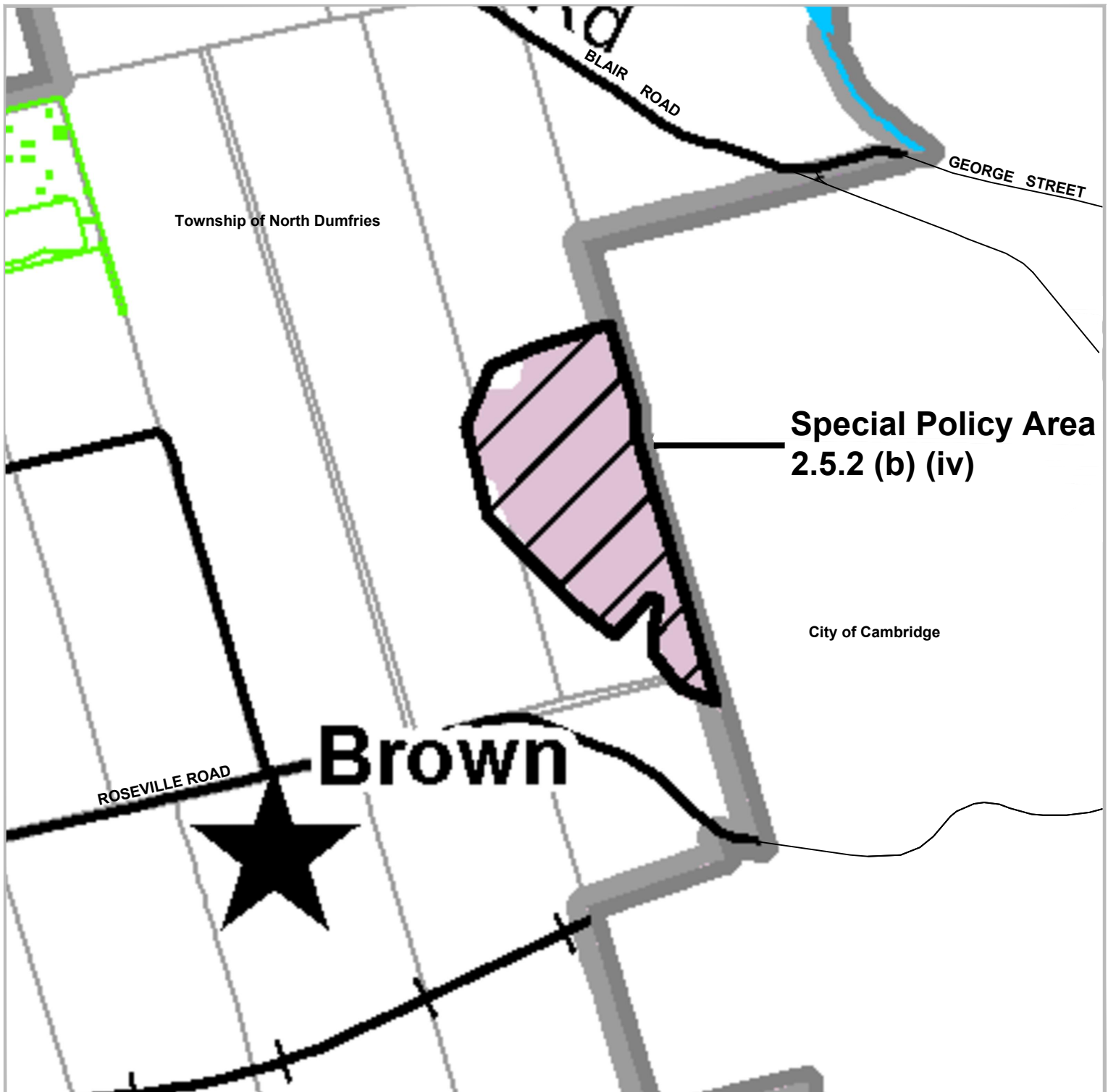


Figure 14

## Township of North Dumfries Official Plan

### Map 2 - Planned Township Structure

Hallman Construction Limited/  
Brian Domm  
Township of North Dumfries  
Region of Waterloo

#### LEGEND

-  Westwood Village (Phase 2) Community
-  Urban Area
-  Designated Greenfield Area
-  Rural Settlement Area
-  Countryside - Open Space

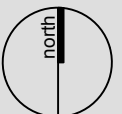
Base Map Source:  
Township of North Dumfries Official Plan Map 2 (Consolidation date: November 2018)

DATE: February 2021

FILE: 0800C

SCALE 1 : 15,000

DRAWN: DGS



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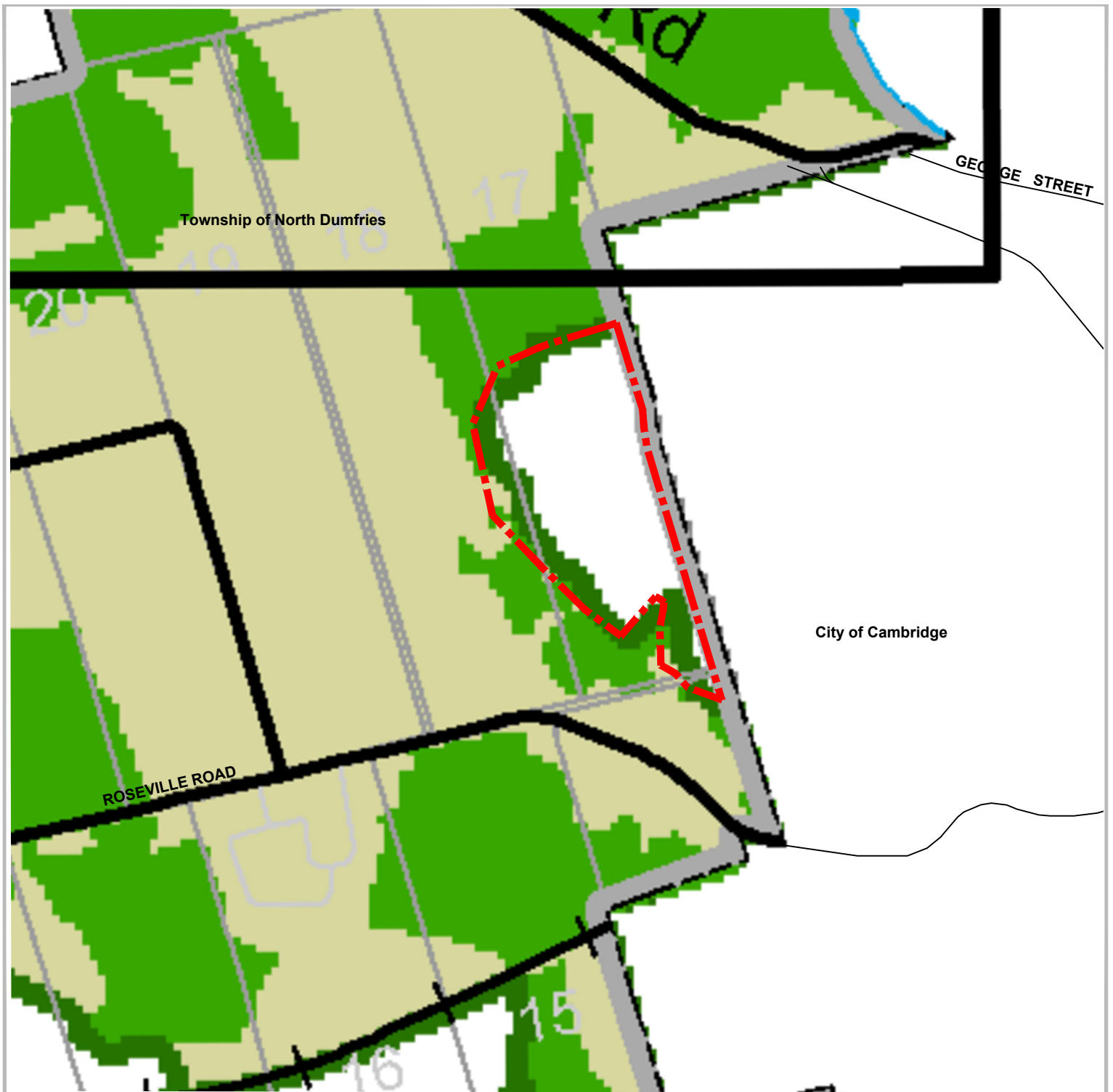


Figure 15

**Township of  
North Dumfries  
Official Plan**  
Map 5A -  
Greenlands Network

Hallman Construction Limited/  
Brian Domm  
Township of North Dumfries  
Region of Waterloo

**LEGEND**



Westwood Village (Phase 2) Community

Landscape Level Systems



Significant Valleys



Environmentally Sensitive Landscapes

Core Environmental Features



Core Environmental Features

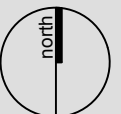
Base Map Source: Township of North Dumfries Official Plan, Map 5A  
(Consolidation Date: November 2018)

DATE: February 2021

FILE: 0800C

SCALE 1 : 15,000

DRAWN: DGS



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# 8.0 SECTION 51 (24) PLANNING ACT CONSIDERATIONS

Section 51(24), of the Planning Act directs that in considering a draft plan of subdivision, regard shall be had, among other matters, to the health, safety, convenience and welfare of the present and future inhabitants of the municipality and to a number of specific criteria/consider actions. **Table 6** analyses the proposed subdivision relative to criteria outlined in Section 51 (24) of the Planning Act.

<b>Table 6: Analysis of the subdivisions relative to Section 51(24) of the <u>Planning Act</u>.</b>		
	<b>Criteria</b>	<b>Analysis of Proposed Plans of Subdivision Response</b>
<b>(a)</b>	<b><i>the effect of development of the proposed subdivision on matters of provincial interest.</i></b>	<ul style="list-style-type: none"><li>• An overview of matters of provincial interest is included as Section 7 of this report.</li><li>• It is concluded that there has been adequate regard to matters of provincial interest as outlined in this report.</li></ul>
<b>(b)</b>	<b><i>whether the proposed subdivision is premature or in the public interest.</i></b>	<ul style="list-style-type: none"><li>• The ROP and Township Official Plan confirm applications submitted prior to June 30, 2019 would be premature. Submission of the applications occurred after this date.</li><li>• Sufficient pre-development groundwater and environmental monitoring has occurred.</li></ul>

		<ul style="list-style-type: none"> <li>• The adjacent Phase 1 Community is proceeding and the initial stages of development provide services and road access to the subject lands.</li> <li>• Subwatershed and infrastructure planning has occurred.</li> <li>• The development of the subject lands is required to accommodate growth forecasts.</li> <li>• It is concluded the subdivisions are not premature and are in the public interest.</li> </ul>
<b>(c)</b>	<b><i>whether the plan conforms to the Official Plan and adjacent plans of subdivision, if any.</i></b>	<ul style="list-style-type: none"> <li>• The subdivision conforms to the ROP and the broader policy framework of the Township Official Plan.</li> <li>• The design of the subdivisions considers adjacent subdivision plans and are designed to be the logical extension of approved plans. The subdivisions seamlessly integrate with the Westwood Village (Phase 1) Community.</li> </ul>
<b>(d)</b>	<b><i>the suitability of the land for the purposes which it is to be subdivided.</i></b>	<ul style="list-style-type: none"> <li>• Background studies and analysis confirm the subject lands are suitable for the purposes and land uses intended.</li> <li>• Preliminary grading of the subject lands has taken place in anticipation of the development that is proposed.</li> </ul>

<b>(e)</b>	<b><i>the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them.</i></b>	<ul style="list-style-type: none"> <li>• The street network is based (in part) on traffic and engineering input.</li> <li>• Street widths comply with City of Cambridge road standards in accordance with direction received.</li> <li>• Proposed streets align with streets approved in the Phase 1 Community.</li> <li>• Subdivision roads connect to Newman Drive which forms part of the approved collector road network that will link to the Region's arterial road network.</li> </ul>
<b>(f)</b>	<b><i>the dimensions and shapes of the proposed lots.</i></b>	<ul style="list-style-type: none"> <li>• The proposed lots have been sized for the intended land uses and reflect contemporary design standards.</li> <li>• The proposed blocks have been sized based on demonstration plans which confirm the blocks have appropriate shapes and dimensions.</li> </ul>
<b>(g)</b>	<b><i>the restrictions or proposed restrictions, if any, on the land to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land.</i></b>	<ul style="list-style-type: none"> <li>• Appropriate zoning regulations are proposed which together with draft plan and/or site plan conditions provide appropriate restrictions.</li> <li>• Buffer(s) are proposed to be zoned for open space purposes with appropriate restrictions</li> </ul>



		and draft plan conditions that prohibit residential development within buffers.
<b>(h)</b>	<b><i>conservation of natural resources and flood control.</i></b>	<ul style="list-style-type: none"> <li>• There are no Core Environmental Features within the limits of the subdivisions.</li> <li>• Environmental features that are in proximity to the subdivisions are to be protected by a naturalized buffer.</li> <li>• A stormwater management and groundwater infiltration strategy are proposed and implement the objectives of the approved MESP (subject to a modification to the MESP that is considered to be a net environmental benefit).</li> <li>• The subject lands are not affected by flooding and related hazards.</li> </ul>
<b>(i)</b>	<b><i>the adequacy of utilities and municipal services.</i></b>	<ul style="list-style-type: none"> <li>• Utilities and services have been planned and will be made available to the subject lands through the development of the adjacent Phase 1 Community.</li> </ul>
<b>(j)</b>	<b><i>the adequacy of school sites.</i></b>	<ul style="list-style-type: none"> <li>• A public elementary school site is planned for the Phase 1 Community.</li> <li>• Long-term school accommodation plans and EDC background studies do not identify the need for a school(s) within the limits of the subject lands.</li> </ul>

<b><i>(k)</i></b>	<b><i>the area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes.</i></b>	<ul style="list-style-type: none"> <li>Public lands including parks and walkways have been planned for and identified on the proposed plans of subdivision.</li> <li>Easements will be confirmed at the detailed engineering design stage and secured through draft plan conditions.</li> </ul>
<b><i>(l)</i></b>	<b><i>the extent to which the plan's design optimizes the available supply, means of supplying, and efficient use and conservation of energy.</i></b>	<ul style="list-style-type: none"> <li>The subdivisions are considered efficient and provide for passive solar opportunities.</li> <li>Proposed design guidelines include a recommended sustainability strategy that addresses (among other matters) the efficient use and conservation of energy.</li> </ul>
<b><i>(m)</i></b>	<b><i>the interrelationship between the design of the proposed subdivision and site plan control matters relating to any development of the land, if the land is also located within a site plan control area designated under subsection 41 (2) of the <u>Planning Act</u>.</i></b>	<ul style="list-style-type: none"> <li>Cluster townhouse blocks are subject to site plan control.</li> <li>The interplay between the design of the subdivision and site plan design has been addressed by the proposed design guidelines and can be further addressed through draft plan conditions.</li> </ul>

It is concluded that the proposed draft plans of subdivision have considered and have had appropriate regard for Section 51 (24) of the Planning Act.

## 8.1 Public Consultation

The following public consultation process is contemplated following submission and acceptance of the applications for processing:

- 1) Circulation of the applications to agencies and the public.
- 2) Informal open house that would also include a formal presentation. Objectives of the open house are to obtain initial feedback, share contact information and invite public engagement/input.
- 3) Consideration of comments, additional analysis and potential revisions to the proposals based on input received.
- 4) Reply to comments received and additional public liaison as may be necessary.
- 5) Notification and formal statutory public meeting relating to all applications.
- 6) Consideration and analysis of any additional feedback received at the statutory public meeting and consideration of further revisions to the proposals based on feedback received.
- 7) Preparation of a Township staff report (including recommendations), notification of Township Council's consideration and confirmation regarding availability of the staff report.
- 8) Township Council's consideration of the applications, staff report and input received.

The proposed public consultation process incorporates additional steps to ensure: the public is aware of the proposals; there are additional points of public contact; and input is thoughtfully evaluated prior to Township Council's decision/recommendations.

# 9.0 SUMMARY & CONCLUSIONS

In summary, the proposed Official Plan Amendment, Zoning By-law Amendment and Draft Plans of Subdivision reflect sound land use planning practices, comprehensively consider the land use planning framework and reflect input received at the outset of the process. The proposals represent good planning for the following reasons:

- The proposals appropriately consider the planning objectives and policies outlined in A Place to Grow – Growth Plan (2020) and the Provincial Policy Statement (2020).
- The proposals are consistent with the Provincial Policy Statement and conform to A Place to Grow – Growth Plan for the Greater Golden Horseshoe.
- The proposals conform to the Regional Official Policies Plan and the Township of North Dumfries Official Plan.
- A coordinated, integrated and comprehensive approach has been taken in designing the Community Concept Plan and draft plans of subdivision.
- The proposals will contribute to achieving the greenfield density target of the Growth Plan, Region of Waterloo Official Plan and Township of North Dumfries Official Plan.
- The proposals will contribute to a range and mix of dwelling units available within the broader area.
- The proposals will contribute to a Complete Community.

- The proposals represent the logical extension of the existing and planned land use and development pattern in the area and will seamlessly integrate with the Westwood Village (Phase 1) Community.
- Proposed development is located outside of the Blair-Bechtel-Cruikston ESL and appropriate mitigation measures are contemplated to ensure there are no negative impacts on adjacent environmental features or their ecological functions.
- The proposed subdivisions can be adequately serviced with planned infrastructure.
- The proposed subdivisions are well designed, connect to the planned active transportation network and support the potential introduction of transit service to the area.
- The proposed official plan amendment provides appropriate policy direction and when implemented, will achieve a well-designed community that is based on sound land use planning principles.
- The submissions satisfy study requirements identified at the pre-submission meeting.
- The recommended public consultation process exceeds the minimum requirements set out in the Planning Act and is intended to ensure active public and agency engagement such that issues are identified and can be addressed throughout the process.

It is concluded that the proposals conform with A Place to Growth – Growth Plan (2020), are consistent with the PPS (2020), conform with the Regional Official Plan and the Township of North Dumfries Official Plan, have had appropriate regard for Section 2 and Section 51 (24) of the Planning Act and represent good planning.

# Appendix A





# NORTH DUMFRIES SUBDIVISION

## EXTENSION OF THE CAMBRIDGE WEST COMMUNITY



Paul Britton, BES, MCIP RPP | Partner  
Michelle Baya, BES | Planner

Thursday October 3, 2019

# Overview

- Project Team
- Project Introduction
- Location
- Regional Official Plan
- Township Official Plan
- Development Concept
- Density Analysis
- Community Concept
- Preliminary Servicing Plan
- Anticipated Planning Approvals
- Discussion/Questions

# Project Team

BRIAN DOMM

GATESTONE DEVELOPMENT CORP  
HALLMAN CONSTRUCTION  
(HCL lands)



# PROJECT INTRODUCTION

## **North Dumfries Subdivision**

Extension of Cambridge West Community

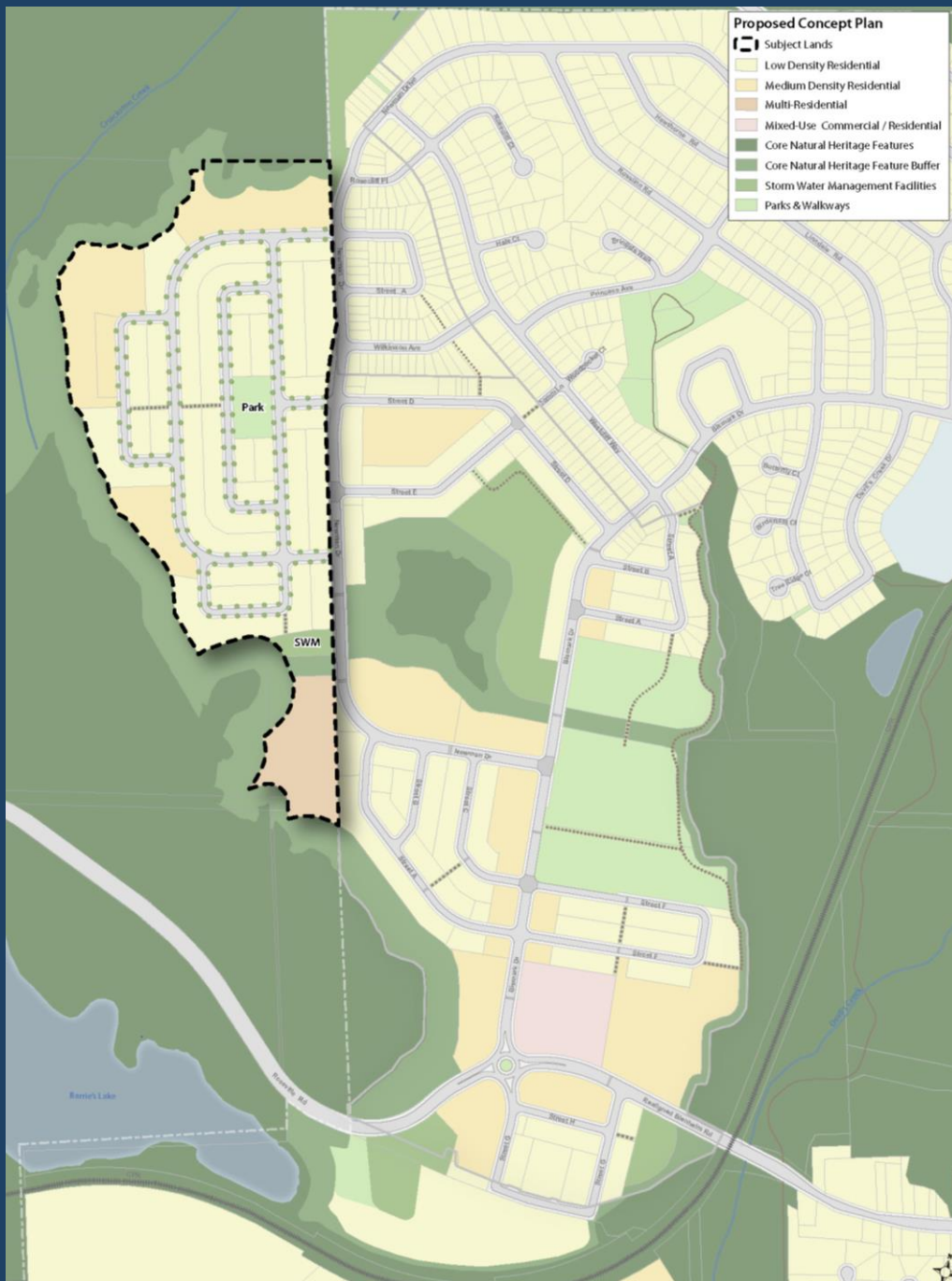
# North Dumfries Subdivision Proposal

The proposed development is an extension of the development that has been approved for the Cambridge West Community.

The proposal is for a residential development that will include two draft plans of subdivision – one plan for each of the Domm and HCL lands. Notwithstanding the two subdivision applications, the lands have been considered and designed comprehensively.

The subdivision proposals include:

- Various low-rise residential blocks containing a variety of residential unit types (i.e. multiple residential, single detached, and street townhouse). The intent is to have street fronting blocks lotted prior to final approval (registration).
- A modified grid pattern of streets, which have been designed as an extension of the street pattern that was approved for Cambridge West.
- Two neighbourhood parks, including a neighbourhood park that is central to the proposed development and connected to the community by proposed walkway blocks, the sidewalk system and the active transportation network plan for Cambridge West.





# North Dumfries Subdivision Proposal Cont'd



- Setbacks from Core Natural Features consistent with the recommendations of the Cambridge West MESP.
- A natural heritage corridor that has been coordinated with the eco-passage plan for the Newman Drive extension.
- A stormwater management pond.
- A stormwater drainage pattern and stormwater management strategy that implements the Cambridge West MESP.
- A servicing strategy, which includes connections to sanitary, storm, and water services planned for the Cambridge West Community.



# LOCATION

## **North Dumfries Subdivision**

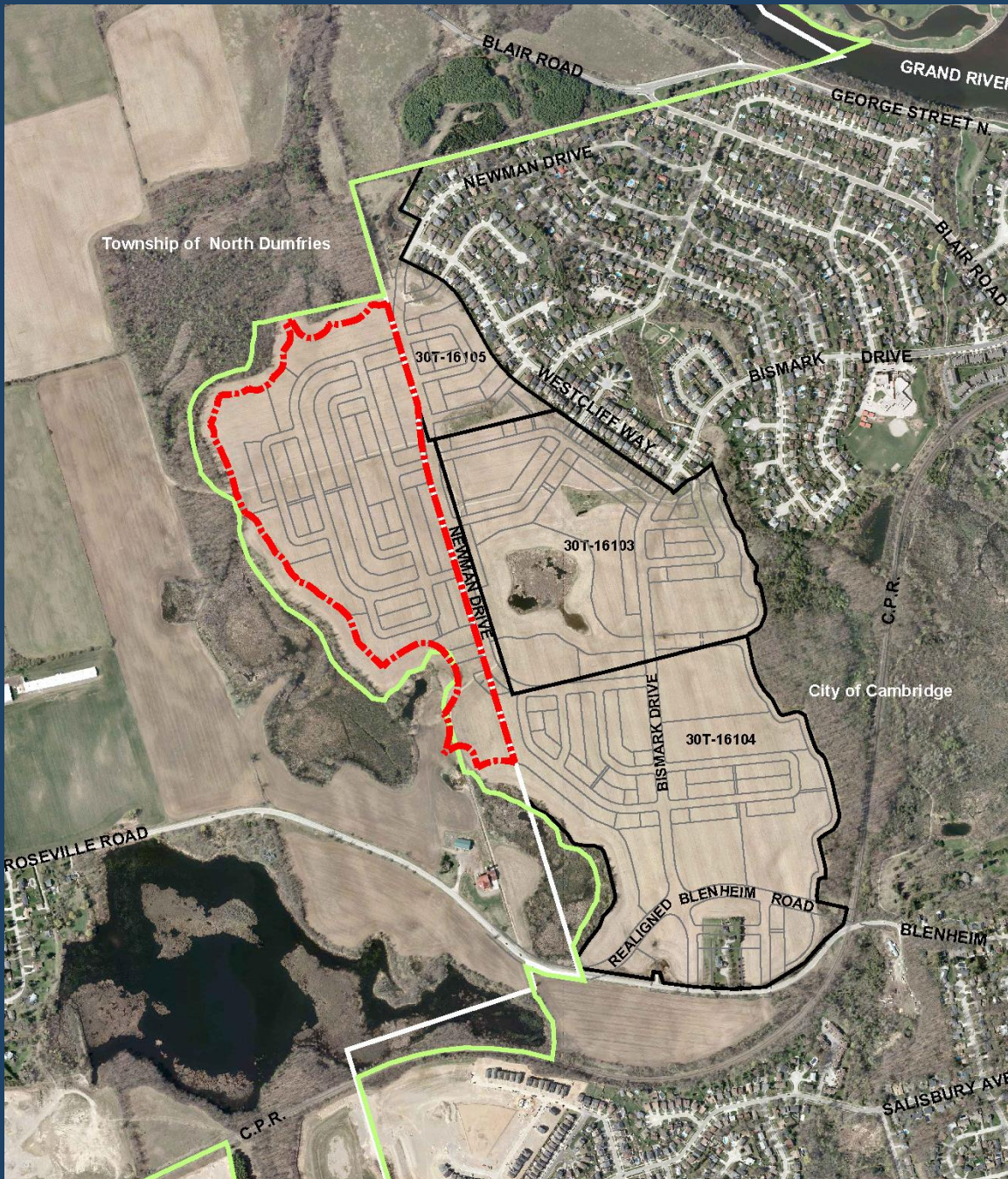
Extension of Cambridge West Community

# North Dumfries Subdivision Location

- The subject lands are located within the Township of North Dumfries, immediately west of the City of Cambridge/Township of North Dumfries municipal boundary.
- Adjacent to the Cambridge West Community, which includes the extension of Newman Drive.
- Adjacent to the east limits of the Blair –Bechtel –Cruickston ESL.

## LEGEND

-  Subject Lands
-  Municipal Boundary
-  Blair-Bechtel-Cruickston
-  Cambridge West Community Boundary



# REGIONAL OFFICIAL PLAN

## **North Dumfries Subdivision**

Extension of Cambridge West Community



# Region of Waterloo Official Plan – Urban Area

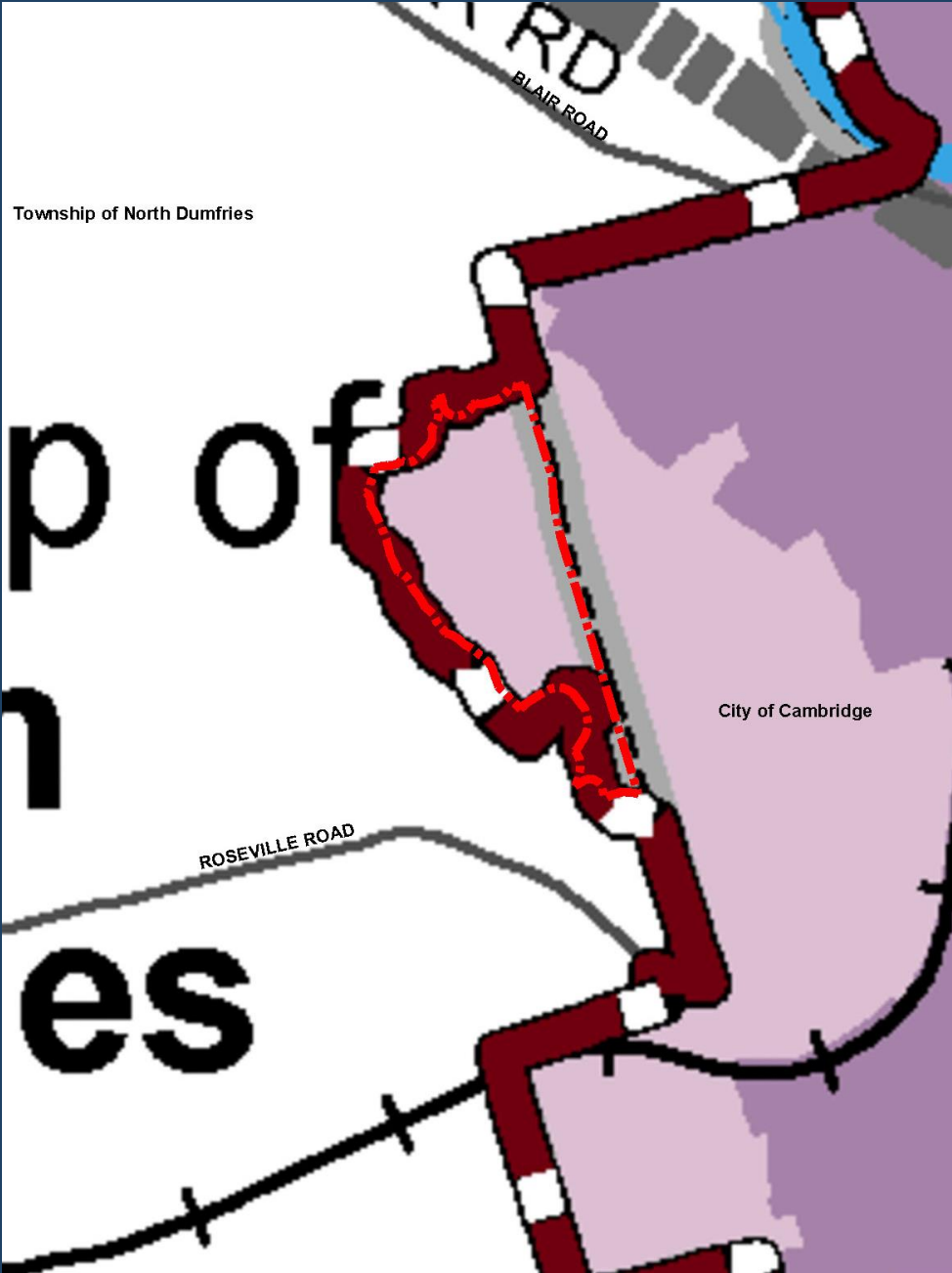
The subject lands are located within the Urban Area boundary, and are designated **Urban Designated Greenfield Area** in the Region of Waterloo Official Plan (ROP).

The ROP provides for an overall density target of 55 residents and jobs per hectare, for Urban Designated Greenfield Areas.

The subject lands were added to the Township Urban Area through final approval of the ROP in June 2015. Through this process a Special Policy Area (**Special Policy Area 2.D.30**) was approved for the subject lands.

## LEGEND

-  Subject Lands
-  Urban Area
-  Built-Up Area
-  Urban Designated Greenfield Area



# Region of Waterloo Official Plan – Urban Area Cont'd

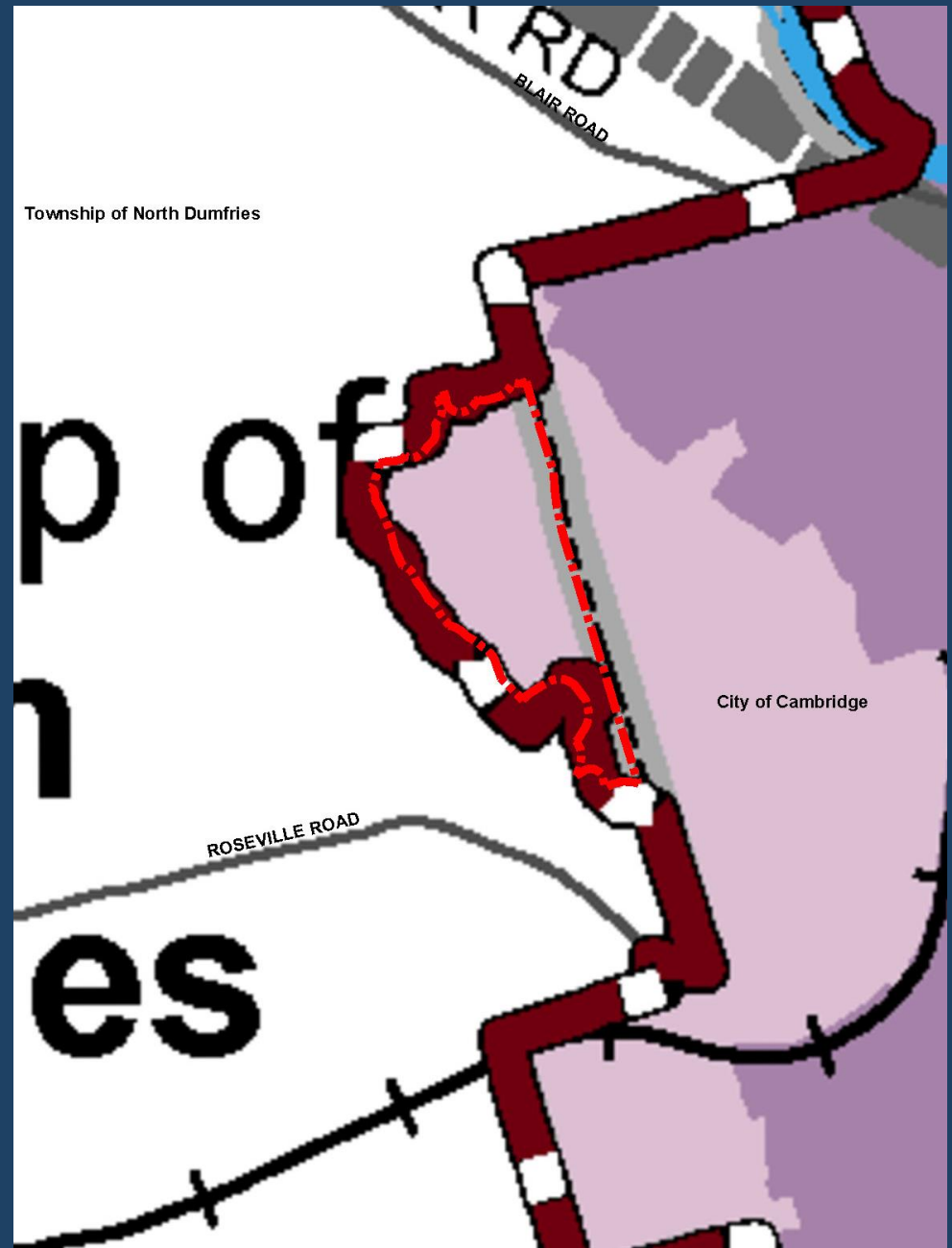
## Special Policy Area 2.D.30

*“Future development applications within the Township’s portion of the Urban Area...be subject to the following requirements prior to final approval:*

- a) Confirmation from the Region of Waterloo that the additional traffic resulting from the development of the lands can be accommodated...; and*
- b) Confirmation that either the lands have been incorporated into the City of Cambridge, or that municipal water and wastewater servicing of the lands as required will be accommodated through a cross-border servicing agreement...”*

### LEGEND

-  Subject Lands
-  Urban Area
-  Built-Up Area
-  Urban Designated Greenfield Area



# Region of Waterloo Official Plan – Greenlands Network

Adjacent lands to the west, located outside the limits of the proposed plans of subdivision, are within the Blair-Bechtel-Cruickston ESL.

There are no designated Core Environmental Features located within the limits of the proposed plans of subdivision.

## LEGEND

-  Subject Lands
-  Environmentally Sensitive Landscape
-  Core Environmental Features
-  Municipal Boundary




# Region of Waterloo Official Plan – Source Water Protection Area








A municipal wellhead is not located within the limits of the proposed subdivisions.

Map 6a and 6e identify the lands as being within WPSA-8. Related policies prohibit Category “A” uses which are not proposed. The proposed residential development conforms with Source Water Protection policies of the ROP.

## LEGEND

 Subject Lands

*Wellhead Protection Areas*

- |  |                     |  |        |
|--|---------------------|--|--------|
|    | Built-Up Area       |   | WPSA-5 |
|   | WPSA-1              |  | WPSA-7 |
|  | WPSA-4              |  |        |
|  | WPSA-8              |  |        |
|  | Municipal Wellheads |  |        |





# TOWNSHIP OFFICIAL PLAN

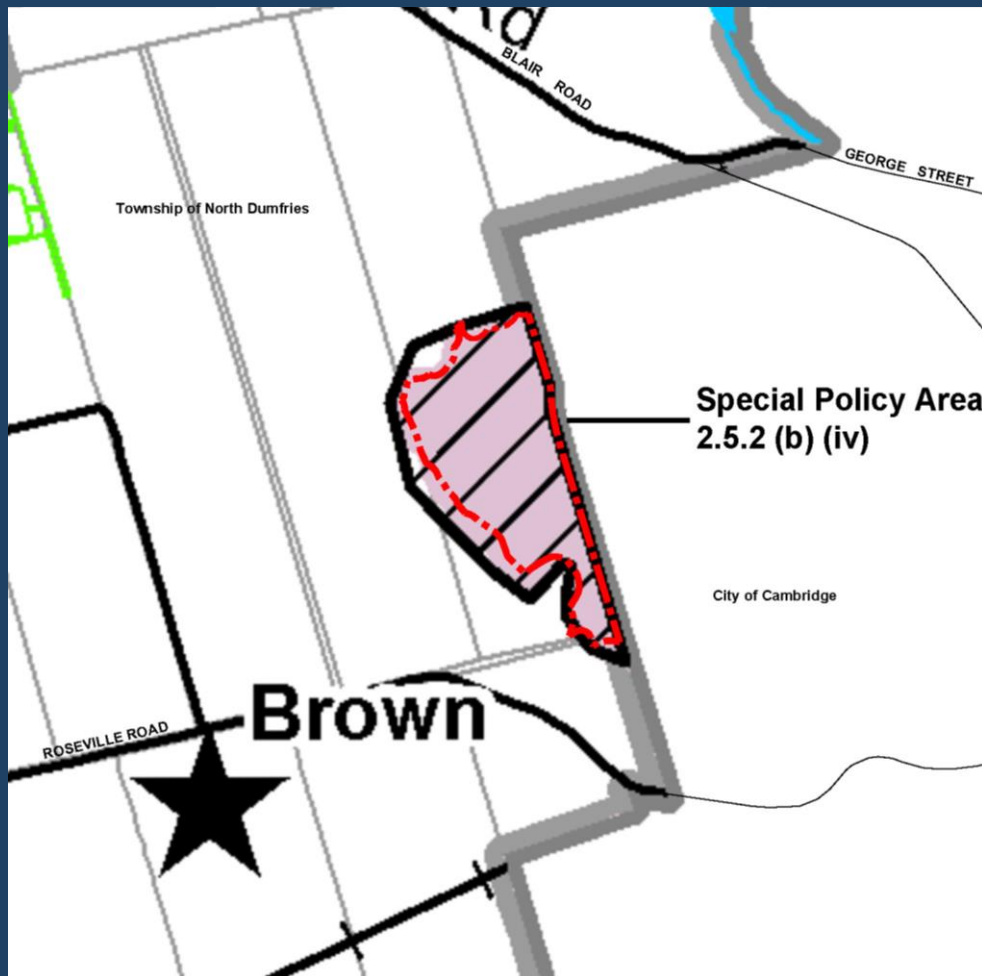
## **North Dumfries Subdivision**

Extension of Cambridge West Community






# Township of North Dumfries Official Plan

The subject lands are designated **Urban Area** and **Designated Greenfield Area**, in the Township of North Dumfries Official Plan, and are further identified as being located within **Special Policy Area 2.5.2 b) iv)**.

Following a conformity exercise, Official Plan Amendment No. 26 was approved, resulting in **Special Policy Area 2.1.4**, which is also applicable to the subject lands.



## LEGEND

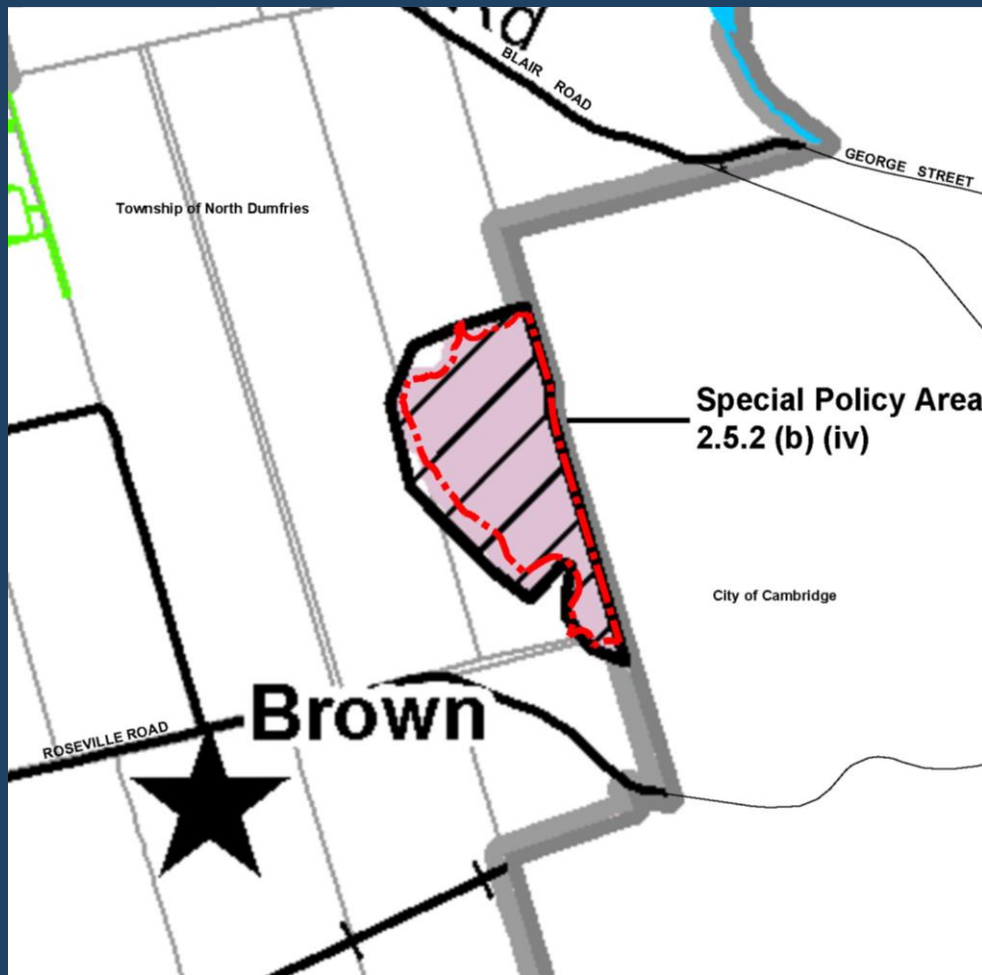
-  Subject Lands
-  Urban Area
-  Designated Greenfield Area
-  Rural Settlement Area
-  Countryside – Open Space

# Township of North Dumfries Official Plan






## Special Policy Area 2.1.4

*“Future development applications within the Township’s portion of the Urban Area...be subject to the following requirements prior to final approval:*

- a) *Confirmation from the Region of Waterloo that the additional traffic resulting from the development of the lands can be accommodated...;*
- b) *Confirmation that either the lands have been incorporated into the City of Cambridge, or that municipal water and wastewater servicing of the lands as required will be accommodated through a cross-border servicing agreement...; and,*
- c) *Development will occur in accordance with an amendment to this Official Plan, which will establish amongst other matters the hierarchy of residential and other land use designations, urban design policies, open space and environmental policies and strategies and servicing and transportation policies...”*



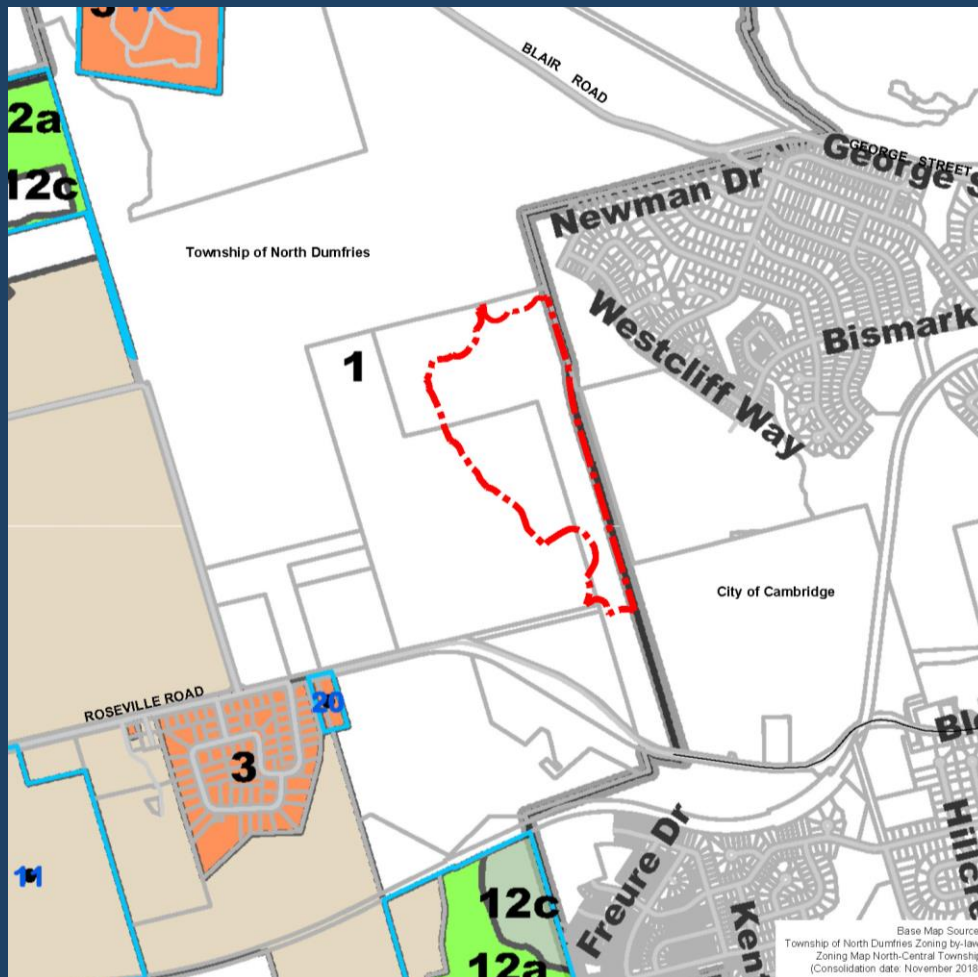
### LEGEND

-  Subject Lands
-  Urban Area
-  Designated Greenfield Area
-  Rural Settlement Area
-  Countryside – Open Space

# Township of North Dumfries Zoning

The subject lands are identified as being located within **Zone 1 – Agriculture**, in the Township of North Dumfries Zoning By-law.

This zone pre-dates the Urban Area designation and is now considered interim zoning pending approval of development applications with the Regional Official Plan and the Township Official Plan.



## LEGEND



Subject Lands



By-law Exemption No.



Zone 1 - Agriculture



Zone 3 – Rural Residential



Zone 12a – Environmental Protection 1



Zone 12c – Environmental Protection Overlay

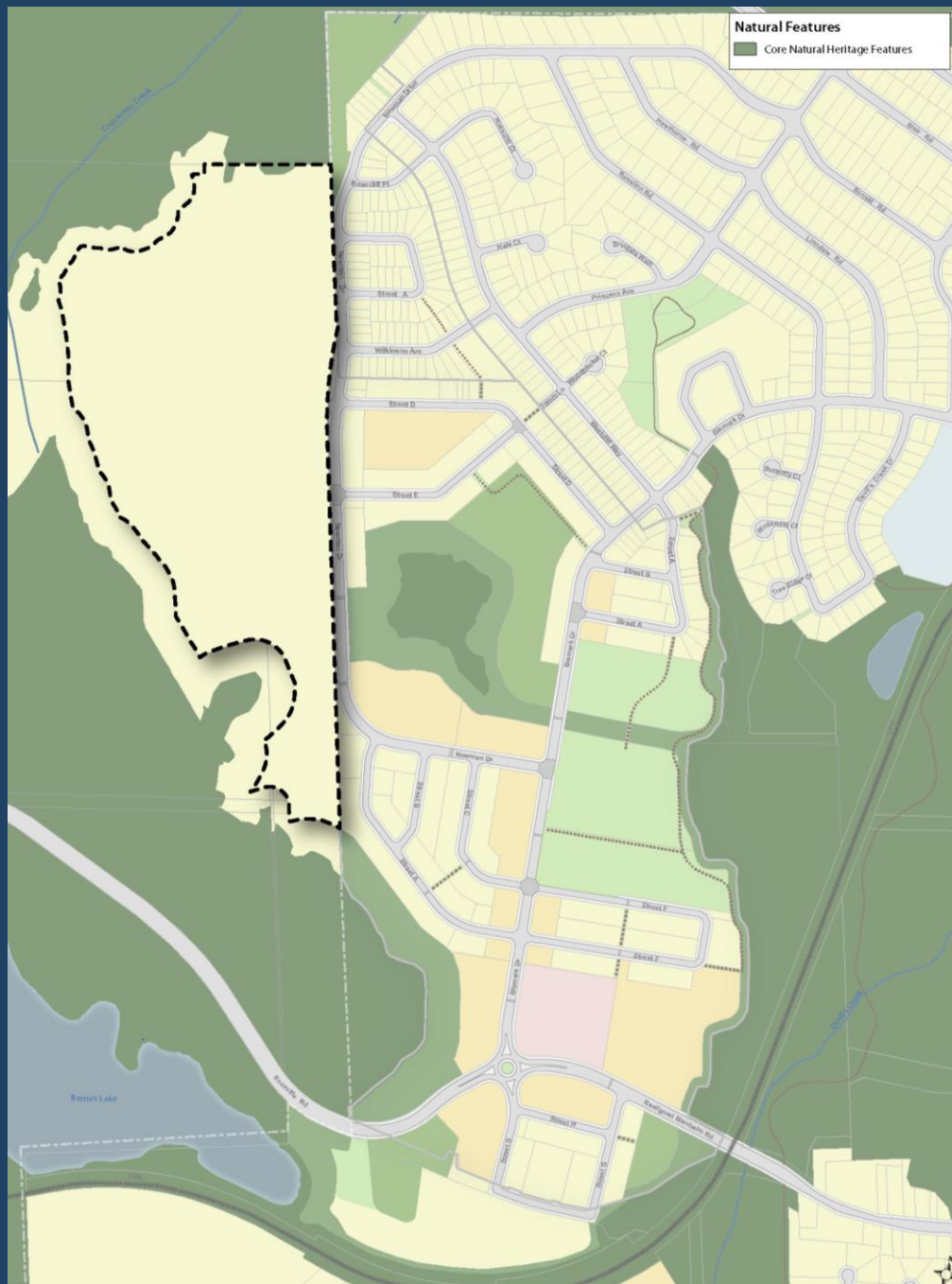


Zone 14 – Mineral Aggregates

# DEVELOPMENT CONCEPT

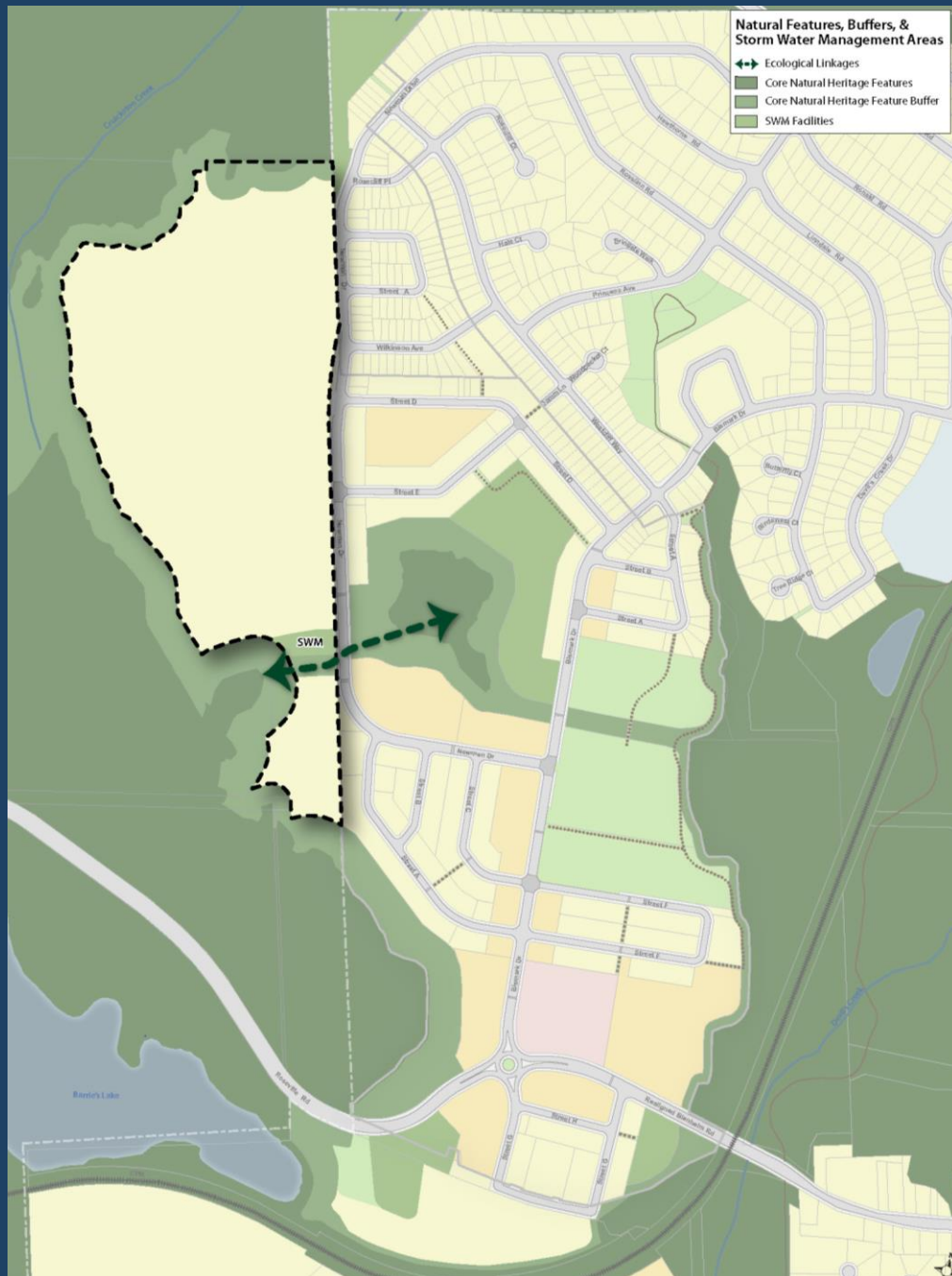
## **North Dumfries Subdivision**

Extension of Cambridge West Community



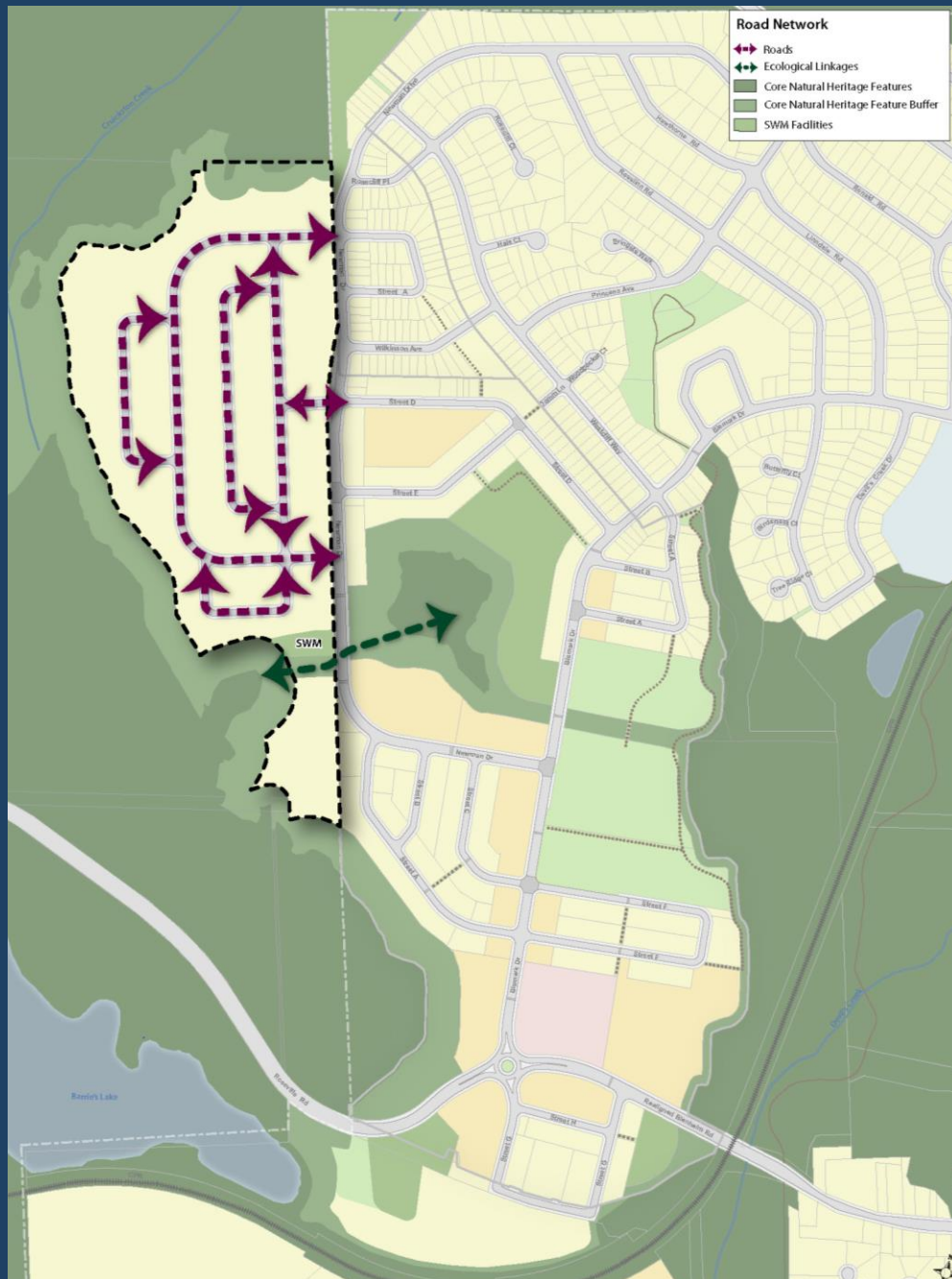
## NATURAL FEATURES





## BUFFERS & ECOLOGICAL LINKAGES





# ROAD NETWORK







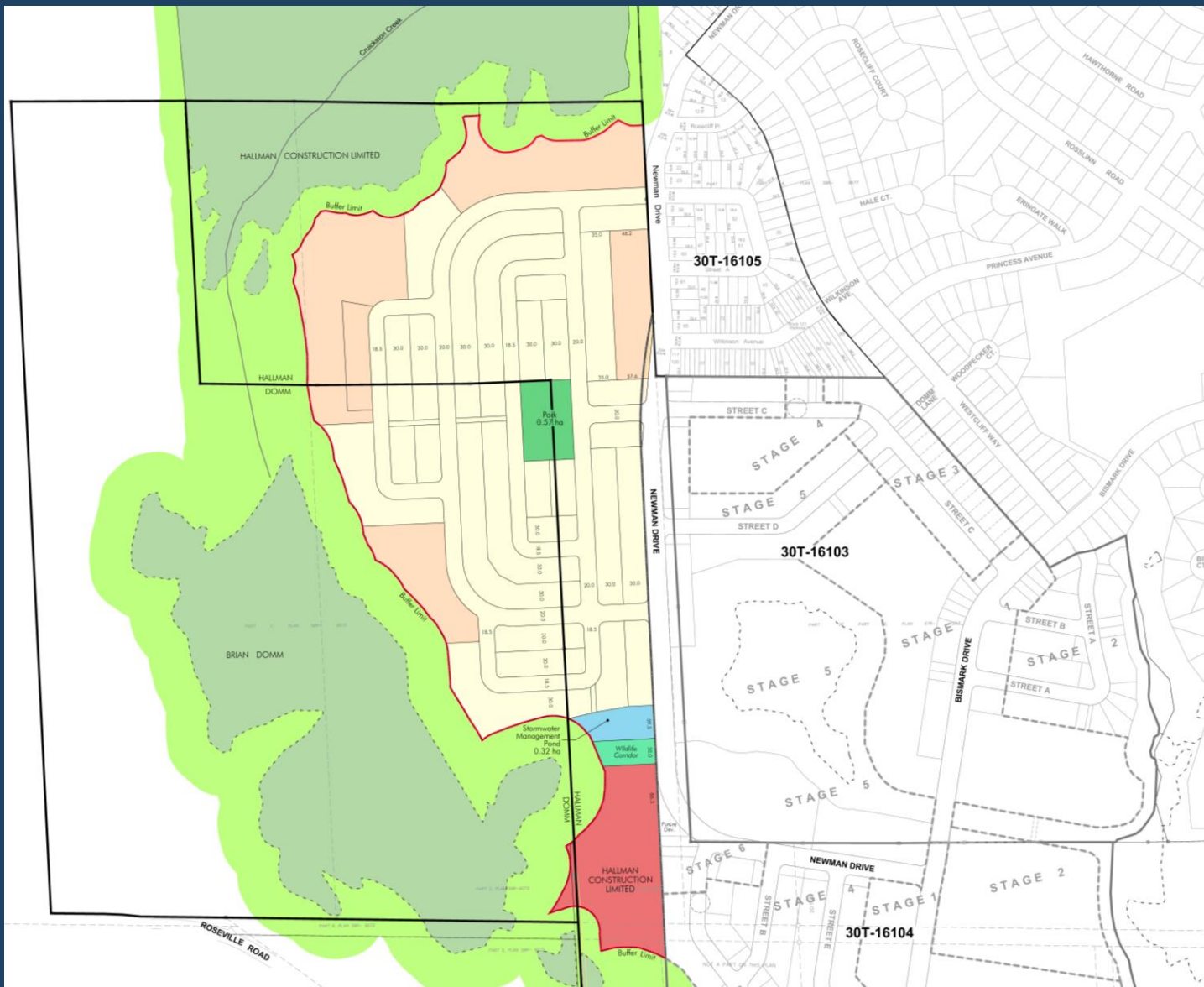


# DENSITY ANALYSIS

**North Dumfries Subdivision**

Extension of Cambridge West Community





## LEGEND

- Subject Lands
- Residential (single detached)
- Residential (street & cluster towns)
- Residential (cluster, stacked towns, & walk-up apartments)

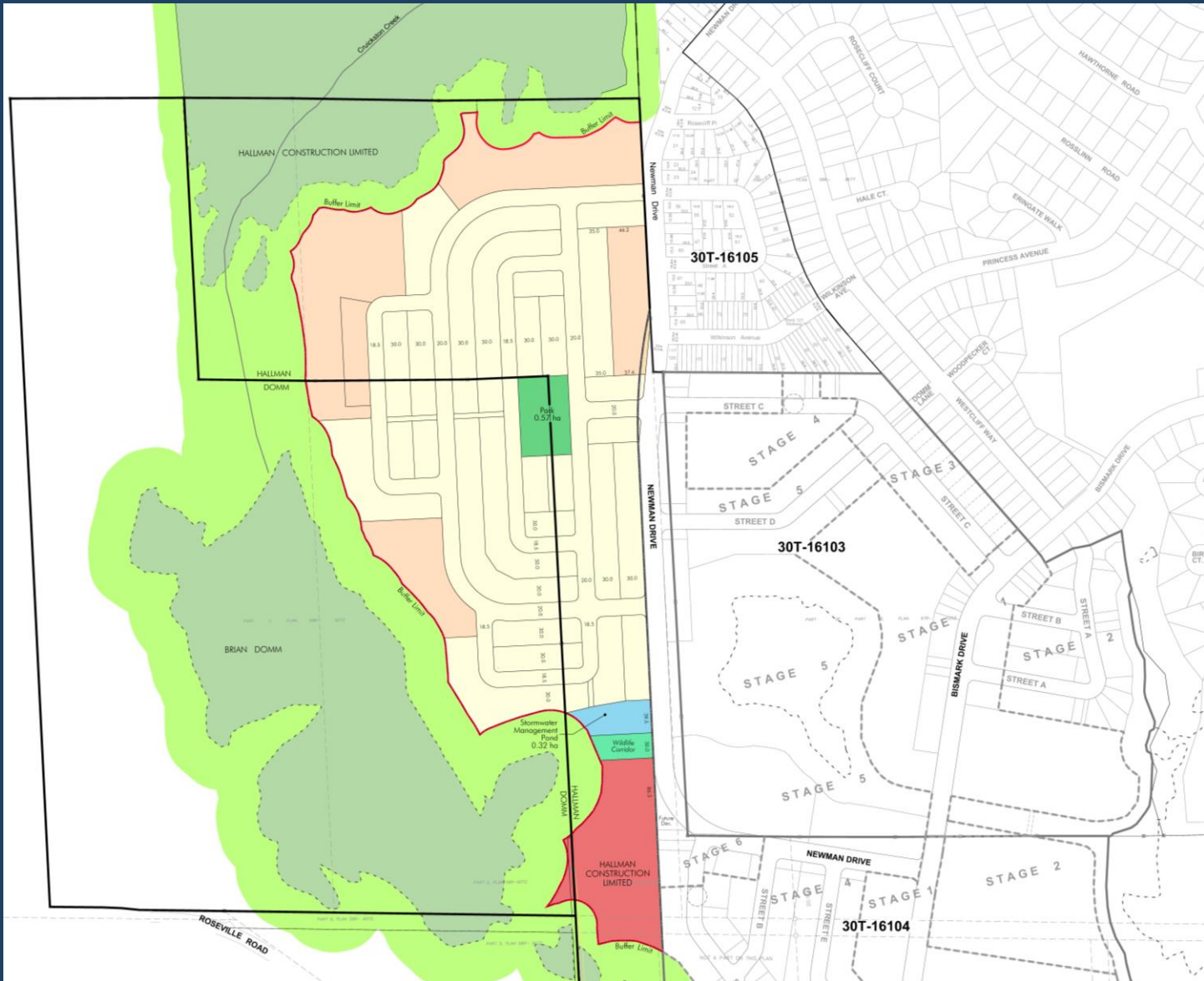
## SITE STATISTICS

Total Area: 25.43 ha  
 Domm Lands: 8.48 ha  
 Hallman Lands: 16.94 ha  
 \*Park Area: 0.57 ha

Notes:

\*Park Area: calculated as 5% of total land area





## LEGEND

- Subject Lands
- Residential (single detached)
- Residential (street & cluster towns)
- Residential (cluster, stacked towns, & walk-up apartments)

## UNIT YIELD

Singles: 267-362 units  
 Towns: 165 units  
 Multi-Res: 58-196  
**TOTAL: 490-723 units**

## \*POPULATION

Singles: 867-1176 people  
 Towns: 402 people  
 Multi-Res: 122-412 people  
**TOTAL: 1392-1991 units**

## \*\*POPULATION RELATED EMPLOYMENT (PRE)

Singles: 104-142 jobs  
 Towns: 60 jobs  
 Multi-Res: 20-70 jobs  
**TOTAL: 186-273 jobs**

## \*\*\*DENSITY

62-90 people + jobs/ha

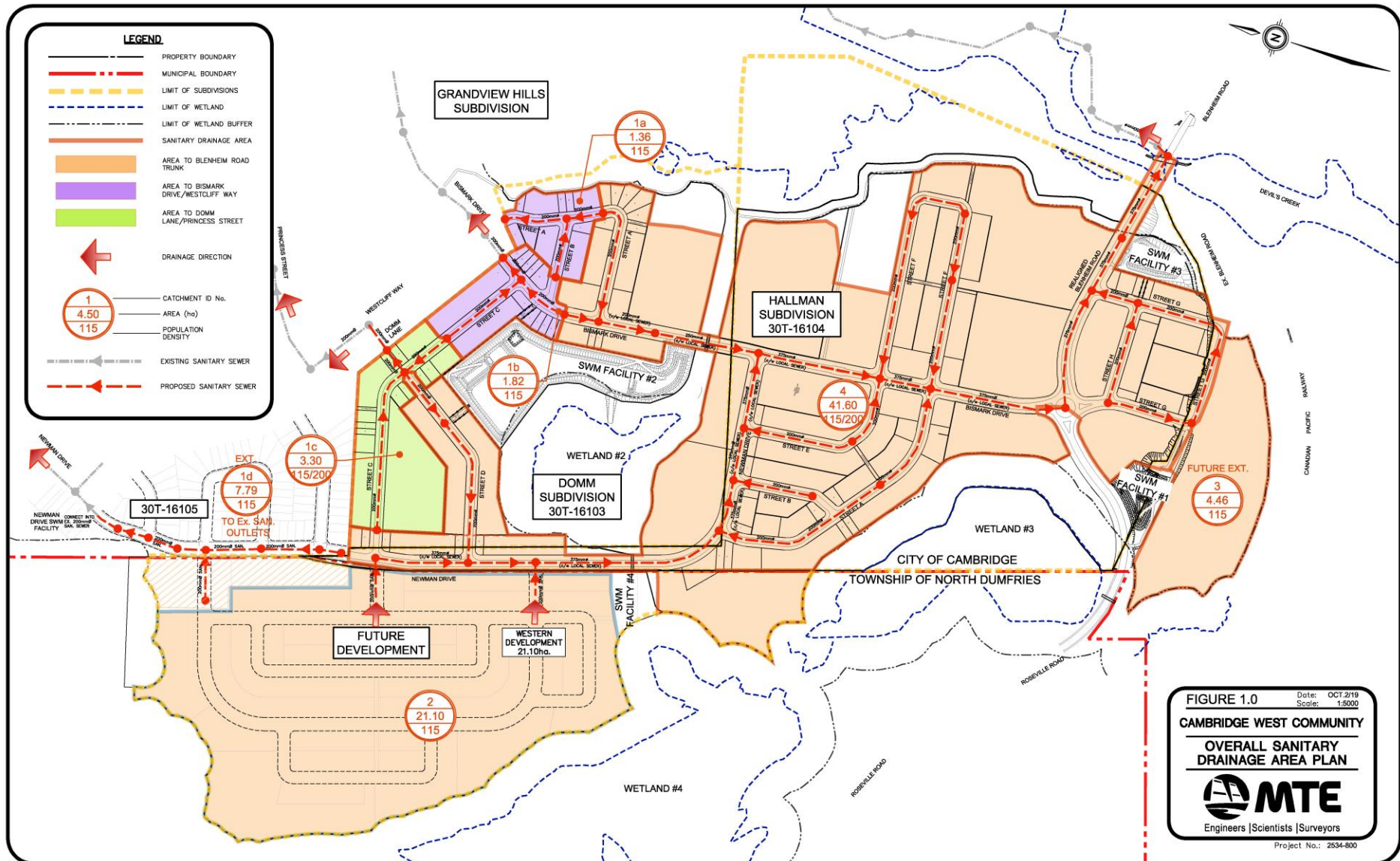
## Notes:

- \***Population** is based on Persons Per Unit (PPU) determined through the Region of Waterloo Land Budget (As Revised April 30, 2012)
- \*\* **Population Related Employment (PRE):** (Population x 0.028%) + (number of new residential units x 0.3)
- \*\*\* **Density:** Population + PRE/ Net Area (people + jobs/ha)

# PRELIMINARY SERVICING PLAN

**North Dumfries Subdivision**

Extension of Cambridge West Community

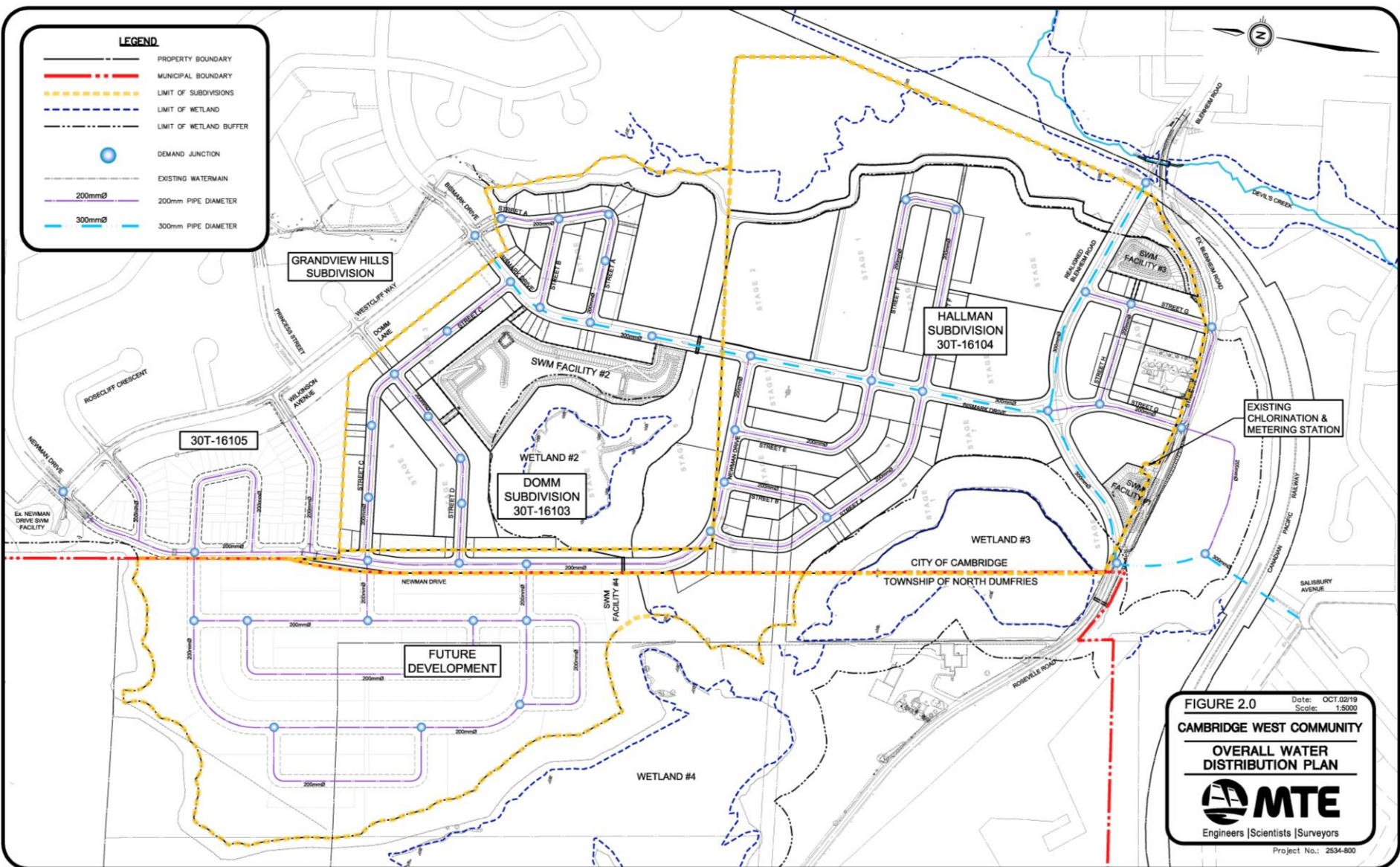


October 2, 2019 — 11:49 a.m. — Plotted By: bschaefer

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# SANITARY DISTRIBUTION PLAN



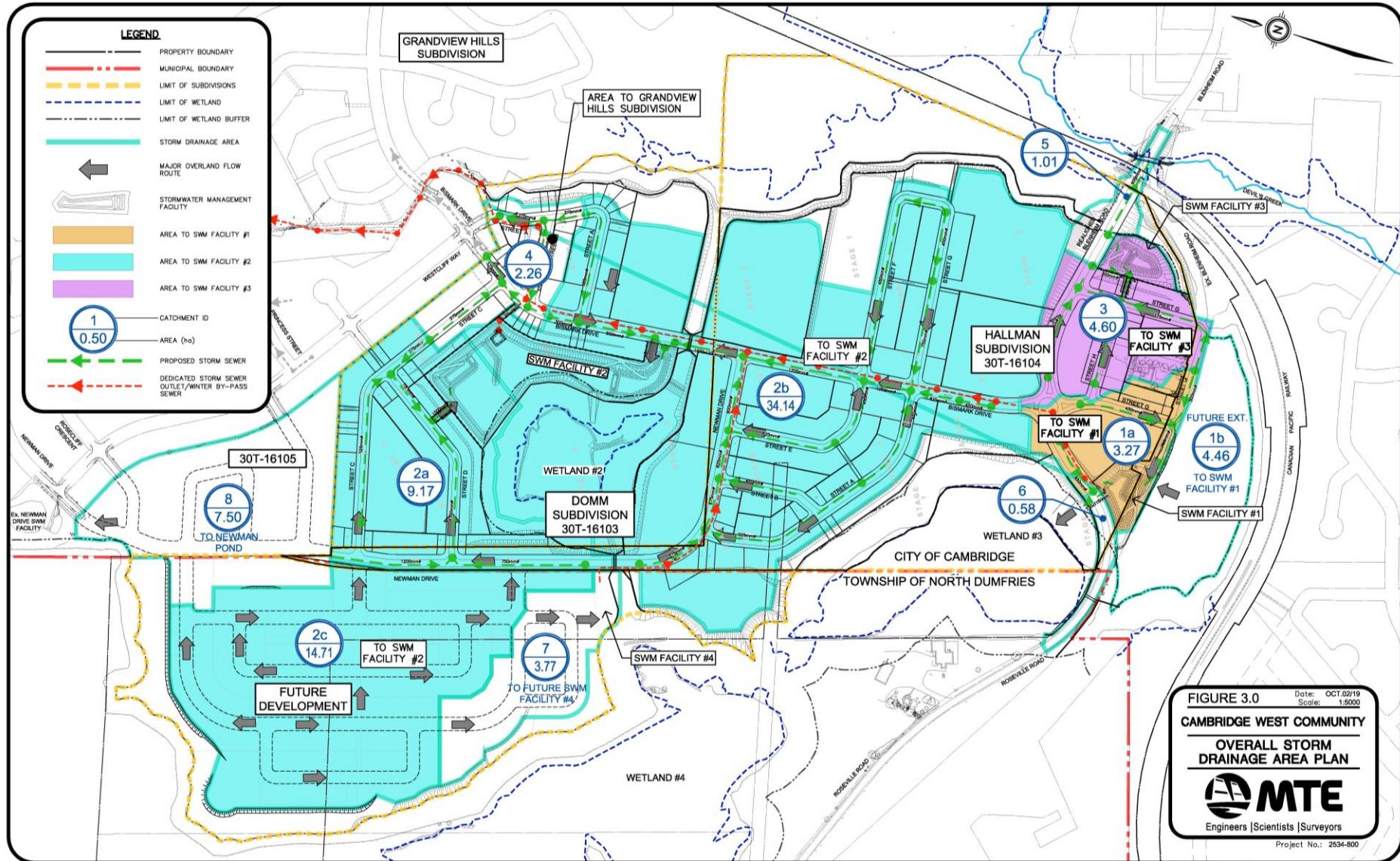


October 2, 2019 — 11:43 a.m. — Plotted By: ahewson

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# WATER DISTRIBUTION PLAN





October 2, 2019 — 12:22 p.m. — Plotted By: ahewson

**FIGURE 3.0** Date: OCT.02/19  
Scale: 1:5000  
**CAMBRIDGE WEST COMMUNITY**  
**OVERALL STORM DRAINAGE AREA PLAN**  
**MTE**  
Engineers | Scientists | Surveyors  
Project No.: 2534-800

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# STORM DRAINAGE AREA PLAN

# ANTICIPATED PLANNING APPROVALS

## **North Dumfries Subdivision**

Extension of Cambridge West Community



# Planning Approvals

- **Official Plan Amendment** (one application for both the Domm and HCL lands), which addresses Special Policy 2.1.4 of the Township Official Plan.
- **Two Plans of Subdivision** (one for each of the Domm and HCL lands).
- **Three Zone Change Applications**
  - Two for the Township of North Dumfries
  - One for the City.
- A review of the Cambridge West MESP to determine if there is a need for an addendum to the Schedule “B” Municipal Class Environmental Assessment.
- A cross-border servicing agreement prior to final approval.



## DISCUSSION/QUESTIONS/STUDY REQUIREMENTS/NEXT STEPS

### **North Dumfries Subdivision**

Extension of Cambridge West Community

## Appendix B

# MEMO

KITCHENER  
WOODBRIDGE  
LONDON  
KINGSTON  
BARRIE  
BURLINGTON

<b>To:</b>	<b>Note to File</b>
<b>Cc:</b>	<b>Dan Currie, Michelle Baya</b>
<b>From:</b>	<b>Paul Britton</b>
<b>Date:</b>	<b>October 3, 2019</b>
<b>File:</b>	<b>0800C</b>
<b>Subject:</b>	<b>Pre-submission Meeting Summary and Next Steps – Extension of the Cambridge West Community (Township of North Dumfries) – Brian Domm and HCL</b>

The following summarizes the pre-submission meeting that took place on October 3, 2019 at the North Dumfries Community Centre together with recommended actions/next steps. The concept plan presented at the meeting is attached for your easy reference.

1) Municipal and Agency Attendees:

Andrew McNeely – Township of North Dumfries

Michelle Schaeffe – Township of North Dumfries

Brenna MacKinnon – Region of Waterloo

Matthew Colley – Region of Waterloo

Kevin Dolishny – Region of Waterloo

John Holowackj – Region of Waterloo

Elaine Brunn-Shaw – City of Cambridge

Bryan Cooper – City of Cambridge

Helen Robinson – Energy +

John Brum - GRCA

David Harsch – K-Smart (Engineering Consultants to the Township of North Dumfries)

Paul Grespan, Alex Serwaczek, Jeff Martens, Garrett Korber, Jeff Gross, Jennifer McPhee, Matt Brouwer, Paul Britton, Dan Currie, Michelle Baya

- 2) Andrew McNeely chaired the meeting and welcomed everyone in attendance. As an introductory comment, Matthew confirmed both the Township and City of Cambridge would like the subdivision to be a seamless and compatible extension of the Cambridge West Community/draft approved subdivisions located in the City. Andrew asked that MHBC provide an overview presentation.
- 3) Paul Britton provided a PowerPoint presentation which is attached. Garrett provided an overview of the proposed servicing strategy.
- 4) Paul Britton described the proposal as the logical extension of the Cambridge West Community. Both Paul and Garrett confirmed the MESP and background studies anticipated the development of the lands. Garrett confirmed downstream infrastructure located within the City of Cambridge has been planned/designed to accommodate the Township lands.
- 5) Paul Britton highlighted the revision to the concept that was submitted, namely the replacement of the southern park with a multiple block. Andrew McNeely confirmed the Township didn't like the location of the southerly park. Andrew suggested a park calculation based on 1 hectare/300 units. Andrew also suggest both a neighbourhood park and parkette should be identified, the development of which has been accounted for in the draft DC Background Study.

- 6) Paul Britton highlighted the planning approvals that are anticipated (one Official plan amendment, two plans of subdivision, three zone change applications and a review of the MESP to determine whether or not an amendment to the Schedule "B" EA is necessary.
- 7) Paul Britton highlighted the phasing policies of the ROP and Township OP and noted consideration of the development is appropriate at this time. Paul also provided a summary of matters to be addressed by the Official Plan amendment and these are set out in the Township's Official Plan. Andrew provided a similar summary and emphasized the importance of integrating with Cambridge West.
- 8) Paul Britton noted that the lands are included within the designated Urban Area of the ROP and the approved ROP requires a minimum density of 55 people and jobs per hectare. Paul also confirmed minimum and maximum density calculations were calculated using a bottom up approach (i.e. a fallout from the proposed design) rather than a top down approach (population determined by multiplying density by net area).
- 9) Andrew McNeely noted that subdivisions within the Township Urban Area are achieving a density in the range of 60 – 62 per people and jobs per hectare. The lower density calculation that was presented, is consistent with densities achieved elsewhere within the Township. Paul emphasized the lands that are under consideration, are designated Urban Area rather than Township Urban Area and potentially a higher density can be considered.
- 10) Andrew referenced the population table that is included in the Township Official Plan and confirmed a population assignment of 1,400 people to the lands. Andrew confirmed this



population was determined based on a density of 60 people per hectare and a net area of 23.3 hectares (a tap down approach to calculating density).

- 11) Paul noted density calculations will be an iterative process and a fallout from design and adjustments to the design based on agency input. Paul confirmed that density calculations will be included as part of the planning report required to support a complete application.
- 12) Andrew raised a question with respect to what process (if any) may be required in the event the proposed population exceeds the population assignment outlined in the Township Official Plan. MHBC to give this matter further consideration.
- 13) Paul confirmed the TIS prepared for the Cambridge West development will be updated in support of complete applications. As part of this process, the project team will consider the incremental difference in unit potential (if any) from what was assumed in the approved TIS.
- 14) Paul confirmed a developer preference for a cross-border servicing agreement between the Township, Region and the City of Cambridge.
- 15) Andrew McNeely clarified that the Region of Waterloo provides water distribution services to the Township and as a result, the Region of Waterloo would need to be a party to the cross-border servicing agreement. Paul noted further discussion is necessary given the water distribution network within Cambridge West is primarily a City responsibility. Andrew also noted preliminary discussions have taken place between senior staff of the City and Township and there is a leaning towards (on a confidential basis) the lands being annexed to the City of Cambridge. Andrew noted the annexation proposal could be considered together with other lands in the Township of North

Dumfries located between the South Boundary Road and the boundary between the City and Township. Both Paul and Andrew confirmed a triple majority decision supporting the annexation is required. Paul noted the pending Regional Reform report may deal with the issue and the same reports/studies will be required regardless of municipal jurisdiction.

- 16) Andrew McNeely raised the “political sensitivity” of Barrie’s Lake and that regardless of whether or not the lands outlet to Barrie’s Lake, residents view the natural features to be sensitive and integrated. Andrew encouraged consideration be given to “green infrastructure” which could include enhanced infiltration measures. Jeff Martens noted alternatives were considered as part of the MESP and there was a conclusion reached regarding a preferred stormwater management strategy. Regardless, it was agreed that alternatives would be considered (even if the same conclusion is reached). In this way, we can demonstrate that additional consideration of alternatives was given as input to the proposed subdivision.
- 17) There was a general process discussion and Andrew encouraged additional process and public engagement. Paul Britton confirmed the project team has worked extensively with neighbours throughout the Cambridge West process and the same approach would be taken in this instance. Paul confirmed informal meeting(s) would be incorporated as part of the public process and in advance of and perhaps subsequent to the formal public meeting. The Planning Report will address public engagement.
- 18) Andrew noted the planning and engineering reports will need to give consideration to phasing (i.e. what infrastructure is required when). Paul Britton acknowledged the potential that green infrastructure could be advanced sooner rather than later and asked if the Township is willing to consider some form of Credit for Service Agreement to facilitate the early introduction of parks. Andrew confirmed the Township would be open to this idea.

19) Paul Britton provided an overview regarding services that are necessary for Stage 1 of the Cambridge West subdivisions namely:

- The realignment of Blenheim Road.
- The extension of a watermain to realigned Blenheim Road.
- Eco passages associated with realigned Blenheim Road.
- The two stormwater management facilities adjacent to Blenheim Road as well as the central stormwater management facility located with the Cachet subdivision (former Brian Domm Farms Ltd.). Paul noted this stormwater management facility will provide attenuation for most of the subdivision lands within the Township.
- The extension of the watermain from realigned Blenheim Road to the existing terminus of Bismark Drive. This watermain will provide security of supply/water pressure as necessary for the Township's lands.
- The construction of Bismark Drive including a sanitary sewer within the Bismark Drive road allowance. Garrett confirmed the sanitary sewer will be designed to accommodate 115 people per hectare (Township lands).
- Paul noted that in addition to the Stage 1 development lands, the collector road network was approved through a Class Environmental Assessment process and the collector roads (Newman Drive and Bismark Drive extension and the realignment of Blenheim Road) have been designed to accommodate development anticipated within the Township.

20) Paul noted the Planning Report will include detail regarding proposed staging of development.

21) Andrew McNeely expressed the opinion the development of the Township lands is five years removed given his understanding of current market conditions. Paul Grespan and Paul Britton

confirmed the market would easily assimilate the Township lands and that the major timing consideration relates to “process”. Paul confirmed the intention is to complete reports and file the applications in the late spring of 2020. Andrew suggested filing the applications in advance of Regional implementation of the ongoing municipal comprehensive review process such that the current Regional planning framework would be the operative framework for considering the applications.

22) Andrew McNeely confirmed any collector roads would require a minimum right-of-way width of 20 metres and all other local roads would have a minimum road allowance width of 18 metres. Paul noted the City of Cambridge standard for local roads requires a road allowance width of 18.5 metres. It was agreed this additional road allowance width is “inconsequential” but would be planned for in the event the lands are incorporated as part of the City of Cambridge.

23) Paul Britton expressed appreciation for the Townships comments and suggested that the next step would be to revise the preliminary plan and organize a meeting with City and Township staff to receive design input. As a detail, Andrew confirmed that the proposed neighbourhood park should be located central to the plan and within walking distance of future homes (800 metres (8 minute walk distance) and 500 metres (5 minute walk distance) for the neighbourhood park and parkette respectively).

24) Matthew Colley (Region of Waterloo) confirmed he didn’t have much further to add and noted the following report requirements in support of complete applications:

I. Updated TIS

- II. EIS with a Terms of Reference (TOR) to be approved by the Region, City, Township and GRCA.
- III. Hydrogeological analysis as input to the EIS, water balance and stormwater management strategy.
- IV. A plan which identifies monitoring wells and a requirement to decommission monitoring wells and any other private wells located within the limits of the subdivision.
- V. Chloride Impact Assessment.
- VI. Stormwater management which must integrate with the EIS.

25) Matthew Colley confirmed the Cross Border Servicing Agreement would need to be considered by the Township, the City of Cambridge and the Region of Waterloo. Paul Grespan noted he has considerable experience preparing such agreements and could take the lead in this regard.

Andrew reaffirmed the Region, the City and Township will discuss matters relating to the water distribution network and related jurisdiction. Paul confirmed a fundamental decision needs to be made namely, whether or not the lands are annexed to the City of Cambridge or alternatively, a Cross Border Servicing Agreement is necessary.

26) John Holowackyj and Kevin Dolishny spoke briefly to water distribution and confirmed an updated water distribution/water pressure analysis is necessary. MTE confirmed the MESP and related water servicing analysis has considered the lands.

27) There was a general discussion regarding the ownership of Core Natural Heritage features and related buffers. Andrew McNeely questioned whether or not conditions could be imposed regarding implementation and management of buffers (if the buffers are excluded from the limits of the plans of subdivision. Paul Britton confirmed that there have been ongoing

discussions with rare regarding the conveyance of Core Natural Features as an expansion of the nature reserve. Paul noted that some of Core Natural Heritage features are located within the City of Cambridge and portions are located within the Township. Paul noted that consolidating core natural heritage features in one ownership would be appropriate. Andrew McNeely confirmed support for the expansion of rare's ownership particularly given rare's mandate. Paul confirmed that further consideration would be given to whether or not the buffer lands should be included within the limits of the plan of subdivision.

28) Andrew McKeely noted the concept plan provides for an eco-passage between the central wetland located in the City of Cambridge and the ESL located primarily within the Township of North Dumfries. Paul confirmed the eco-passage is one of four that have been approved in the context of the MESP and Cambridge West planning process. The other three eco-passages include an eco-passage under Bismark Drive and two eco-passages associated with realigned Blenheim Road one of which includes enhancements at Devil's Creek. Paul confirmed the eco-passages were approved in the context of the Class Environmental Assessment process associated with the collector road network.

29) Helen Robinson (Energy +) referred to written comments dated October 3, 2019 which are attached for easy reference. Helen noted that servicing associated with the Cambridge West lands should ensure capacity is provided for the Township subdivision lands. Paul confirmed MTE will review this matter as part of the detailed design for the Cambridge West subdivisions. Paul also suggested that detailed hydro design will occur later in the process and sometime between draft plan approval and final approval of the subdivisions. Helen confirmed this to be an acceptable approach.



30) John Brum (GRCA) raised comments regarding the site alteration permit associated with the Cambridge West subdivisions and the proposed subdivisions located in the Township.

31) Paul noted that an agency walk is proposed and that WSP (Jeff Gross) will coordinate. John asked that the agency site walk be scheduled quickly given the time of year.

32) In consideration of all the comments that were received, the following reports are anticipated to support complete applications:

- I. Reconfirmation of the limits of Core Natural Feature and recommended buffers.
- II. Draft plans to reflect Core Natural Features as surveyed and agreed to.
- III. Approved Terms of Reference for the EIS. Terms of Reference to be approved by GRCA, the Region of Waterloo, City of Cambridge and Township of North Dumfries staff.
- IV. Preparation of an EIS.
- V. An updated TIS to reflect the specifics of what is proposed and any changed circumstances.
- VI. A Planning Report that reflects and satisfies the requirements of the Township of North Dumfries Official Plan/Special Policy which applies. The Planning Report should also deal with relevant planning policy, design, staging considerations (amongst other matters).
- VII. An Urban Design Brief/Design Guidelines to ensure consistent quality and compatibility with Cambridge West.
- VIII. A functional servicing report.
- IX. A preliminary stormwater management report.
- X. Hydrogeological evaluation/analysis and water balance as input to the EIS and stormwater management strategy.

- XI. Consideration of stormwater management alternatives and evaluation to determine whether or not the stormwater management pond located within the Township of North Dumfries is required.
- XII. A preliminary grading plan.

33) The following actions are required as a result of the pre-submission meeting:

- I. **MHBC** to coordinate a meeting with City of Cambridge and Township staff to receive input to the preliminary plan of subdivision.
- II. **WSP** to coordinate a site walk with review agencies to obtain agreement "in the field" with respect to the limits of core natural features (site walk is scheduled for October 18, 2019).
- III. **MTE** to survey the agreed to limits. The survey to be provided to MHBC for consideration as part of the draft plan design. The surveyed limits to be shown on the draft plan.
- IV. **MHBC** to give further consideration to and recommend a public consultation strategy.
- V. **MHBC** to coordinate with Township staff regarding an approach to zoning.
- VI. **MHBC** to further evaluate the assignment of population to the Township. **MHBC** to calculate population/densities as input to this consideration.

We trust this correspondence fairly reflects the main points of discussion and actions required.

Yours truly,

**MHBC**



**Paul R. Britton, M.C.I.P., R.P.P**

PRB:mc

Attach

## Appendix C

**Ministry of Tourism, Culture and Sport**

Archaeology Programs Unit  
Programs and Services Branch  
Culture Division  
401 Bay Street, Suite 1700  
Toronto ON M7A 0A7  
Tel.: (519) 675-6898  
Email: Shari.Prowse@ontario.ca

**Ministère du Tourisme, de la Culture et du Sport**

Unité des programmes d'archéologie  
Direction des programmes et des services  
Division de culture  
401, rue Bay, bureau 1700  
Toronto ON M7A 0A7  
Tél. : (519) 675-6898  
Email: Shari.Prowse@ontario.ca



Sep 14, 2015

Kristy O'Neal (P066)  
Mayer Heritage Consultants Inc.  
3Shedden ON N0L 2E0

**RE: Review and Entry into the Ontario Public Register of Archaeological Reports:  
Archaeological Assessment Report Entitled, "Revised Report on Archaeological  
Assessment (Stages 1 & 2) Cambridge West Environmental Servicing Plan Part  
Lots 16, &17, Concession 12, Part Lots 16 & 17, Concession 11, Township of North  
Dumfries, City of Cambridge, R.M. of Waterloo, Ontario ", Dated Aug 28, 2015, Filed  
with MTCS Toronto Office on Sep 9, 2015, MTCS Project Information Form Number  
P066-098-2011, MTCS File Number 0002475**

Dear Mrs. O'Neal:

This office has reviewed the above-mentioned report, which has been submitted to this ministry as a condition of licensing in accordance with Part VI of the Ontario Heritage Act, R.S.O. 1990, c 0.18.<sup>1</sup> This review has been carried out in order to determine whether the licensed professional consultant archaeologist has met the terms and conditions of their licence, that the licensee assessed the property and documented archaeological resources using a process that accords with the 2011 Standards and Guidelines for Consultant Archaeologists set by the ministry, and that the archaeological fieldwork and report recommendations are consistent with the conservation, protection and preservation of the cultural heritage of Ontario.

The report documents the Stage 1-2 assessment of the study area as depicted in Map 5 of the above titled report and recommends the following:

1. The Euro-Canadian site identified in this report as Location 1 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

2. The Euro-Canadian site identified in this report as Location 2 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

3. Stage 3 Investigations are warranted for the site identified as Location 3 in this report. This site represents a Late Archaic Aboriginal site with cultural heritage value or interest according to criteria listed in Section 2.2. Guideline 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists which indicates that professional judgment may be used to determine if a site warrants further Stage 3 site-specific assessment. Location 3 is a small Late Archaic site containing only formal tools site where it is not yet evident that the level of cultural heritage value or interest will result in a recommendation to proceed to Stage 4 excavations. This site is in an agricultural field. Therefore, Stage 3 fieldwork will involve a controlled surface artifact collection and the hand-excavation of one-metre square units in a 5-metre grid across the site. Grid unit excavation should be followed by excavation of additional test units, amounting to 20 percent of the grid unit total, focusing on areas of interest within the site extent (such as distinct areas of higher concentrations of artifacts or adjacent to high-yield units) as per Section 3.2.2 and Table 3.2.1 of the Standards and Guidelines for Consultant Archaeologists. If any features are encountered they will be addressed as per Section 3.2.2 Standard 6 where their profile will be recorded, be covered in geotextiles and backfilled.

4. The Euro-Canadian site identified in this report as Location 4 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

5. The Euro-Canadian site identified in this report as Location 5 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

6. The Euro-Canadian site identified in this report as Location 6 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

7. The Aboriginal site identified in this report as Location 7 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

8. The Aboriginal site identified in this report as Location 8 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

9. The Euro-Canadian site identified in this report as Location 9 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring

further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

10. The Euro-Canadian site identified in this report as Location 9 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

11. The Aboriginal site identified in this report as Location 11 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

12. The Euro-Canadian site identified in this report as Location 12 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

13. The Euro-Canadian site identified in this report as Location 13 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

14. The Euro-Canadian site identified in this report as Location 14 does not meet the criteria for requiring Stage 3 assessment listed in Section 2.2. Standard 1 of the Ontario Ministry of Tourism, Culture and Sport's 2011 Standards and Guidelines for Consultant Archaeologists. Given these results, it can be concluded that the Stage 1 and 2 property assessment did not identify any archaeological sites requiring further assessment or mitigation of impacts and it is therefore recommended that no further archaeological assessment of the property is required.

15. A woodlot accounting for five per cent of the study area (as shown on Map 6), located along the east edge of the study area was not assessed due to its designation as part of an Environmental Sensitive Area. This area was not assessed as per instructions by the proponent. As per Section 7.8.1 Standard 1e(i, ii, iii, iv, v) of the Standards and Guidelines for Consultant Archaeologists supplementary documents for areas formally prohibited from development and exempt from Stage 2 assessment, but which have been identified through Stage 1 assessment as having archaeological potential. As appropriate supporting documentation has not been received from the proponent and the approval authority as of the writing of this report, a Stage 2 assessment is recommended for the woodlot because it has archaeological potential.

Based on the information contained in the report, the ministry is satisfied that the fieldwork and reporting for the archaeological assessment are consistent with the ministry's 2011 Standards and Guidelines for Consultant Archaeologists and the terms and conditions for archaeological licences. This report has been entered into the Ontario Public Register of Archaeological Reports. Please note that the ministry makes no representation or warranty as to the completeness, accuracy or quality of reports in the register.



Should you require any further information regarding this matter, please feel free to contact me.

Sincerely,

Shari Prowse  
Archaeology Review Officer

cc. Archaeology Licensing Officer  
Dan Currie, MHBC  
Jim Kirchin, City of Cambridge

<sup>1</sup> In no way will the ministry be liable for any harm, damages, costs, expenses, losses, claims or actions that may result: (a) if the Report(s) or its recommendations are discovered to be inaccurate, incomplete, misleading or fraudulent; or (b) from the issuance of this letter. Further measures may need to be taken in the event that additional artifacts or archaeological sites are identified or the Report(s) is otherwise found to be inaccurate, incomplete, misleading or fraudulent.

## Appendix D

# WESTWOOD VILLAGE PHASE TWO

## design workshop

march 9<sup>th</sup> 2020

# PHASE TWO LANDS



*The intent of the Design Workshop is to develop a design vision and design direction for the development of “**Westwood Village**” - **Phase Two**, located in the Township of North Dumfries. The overriding objective is to seamlessly integrate the Phase Two lands with the approved “Westwood Village” community located to the east (Phase One).*

# background

Phase Two is located in the Township of North Dumfries, adjacent to the approved “**Westwood Village**” community located to the immediate east in the City of Cambridge. As noted, the overall objective is for Phase Two to seamlessly integrate with the approved “**Westwood Village**” community (Phase One).

The subject lands are adjacent to natural heritage features which are important to the design and identity of the proposed development.

- The Blair-Bechtel-Cruickston Environmentally Sensitive Landscape (ESL) encompasses:
  - » The rare Charitable Research Reserve
  - » Barries Lake
  - » Provincially Significant Wetlands
  - » Cruickston Creek

The ESL provides a natural boundary between the developing community to the east and the predominantly rural area to the west.



rare CHARITABLE RESERVE



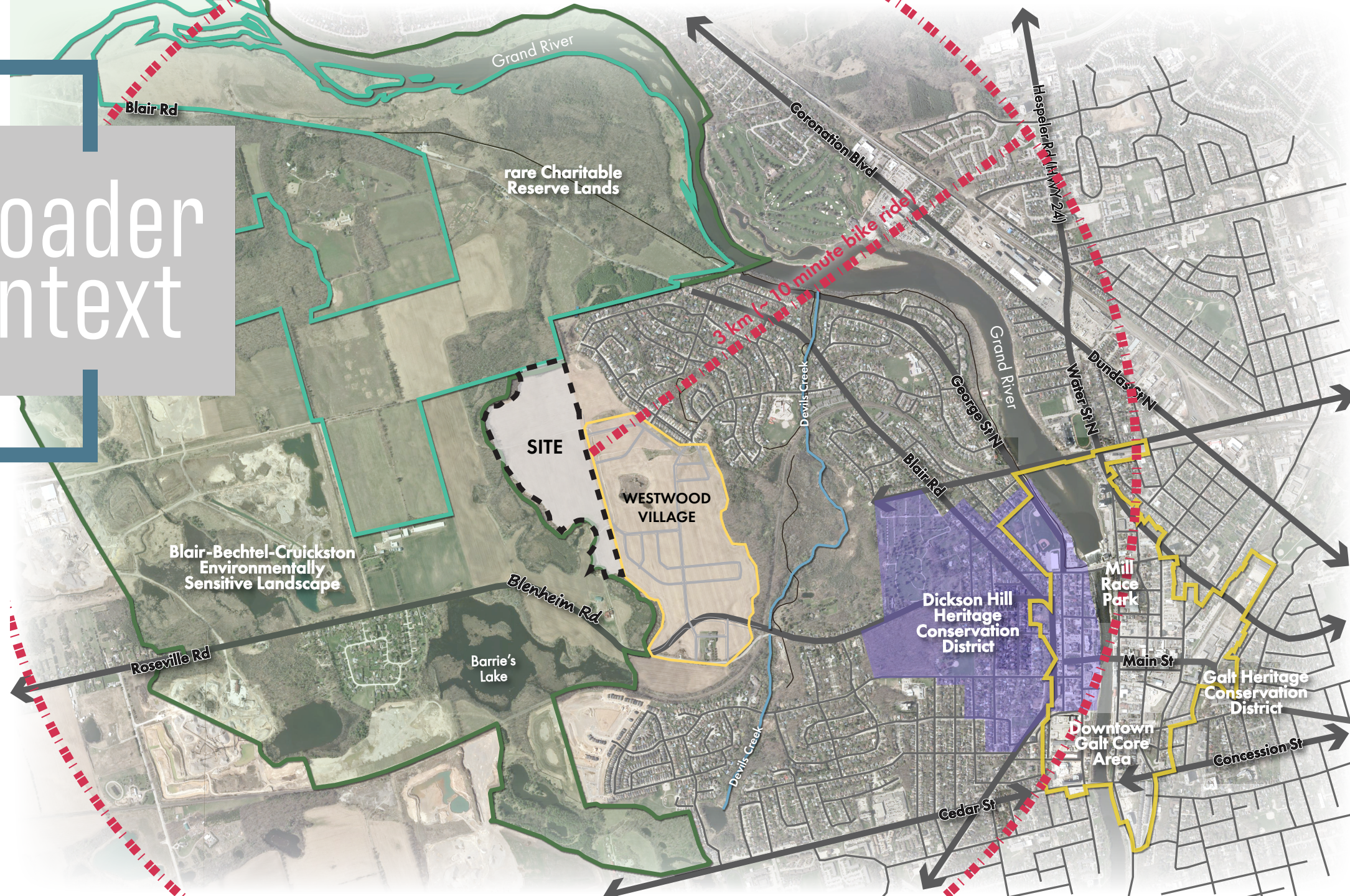
BARRIES LAKE



NORTH DUMFRIES LANDSCAPE



# broader context





# design vision

## “Westwood Village” - Phase One



*Develop a complete community, through integration of a new greenfield development with the existing urban neighbourhoods and adjacent rural lands, where people are able to walk, cycle or take transit to community amenity and focal point areas.*

# “Westwood Village” – Phase One



# design vision

## “Westwood Village” - Phase Two



### Overriding Design Principles & Objectives:

- Excellence in community design and built form
- Seamless integration with “Westwood Village” Phase One
- Protection of significant environmental features
- Create a walkable community
- Contribute to the creation of a complete “Westwood Village” community
- Logical extension of the Active Transportation Network and planned street network
- Sustainability and Low Impact Design (explore the opportunity to eliminate the SWM facility)
- Other?

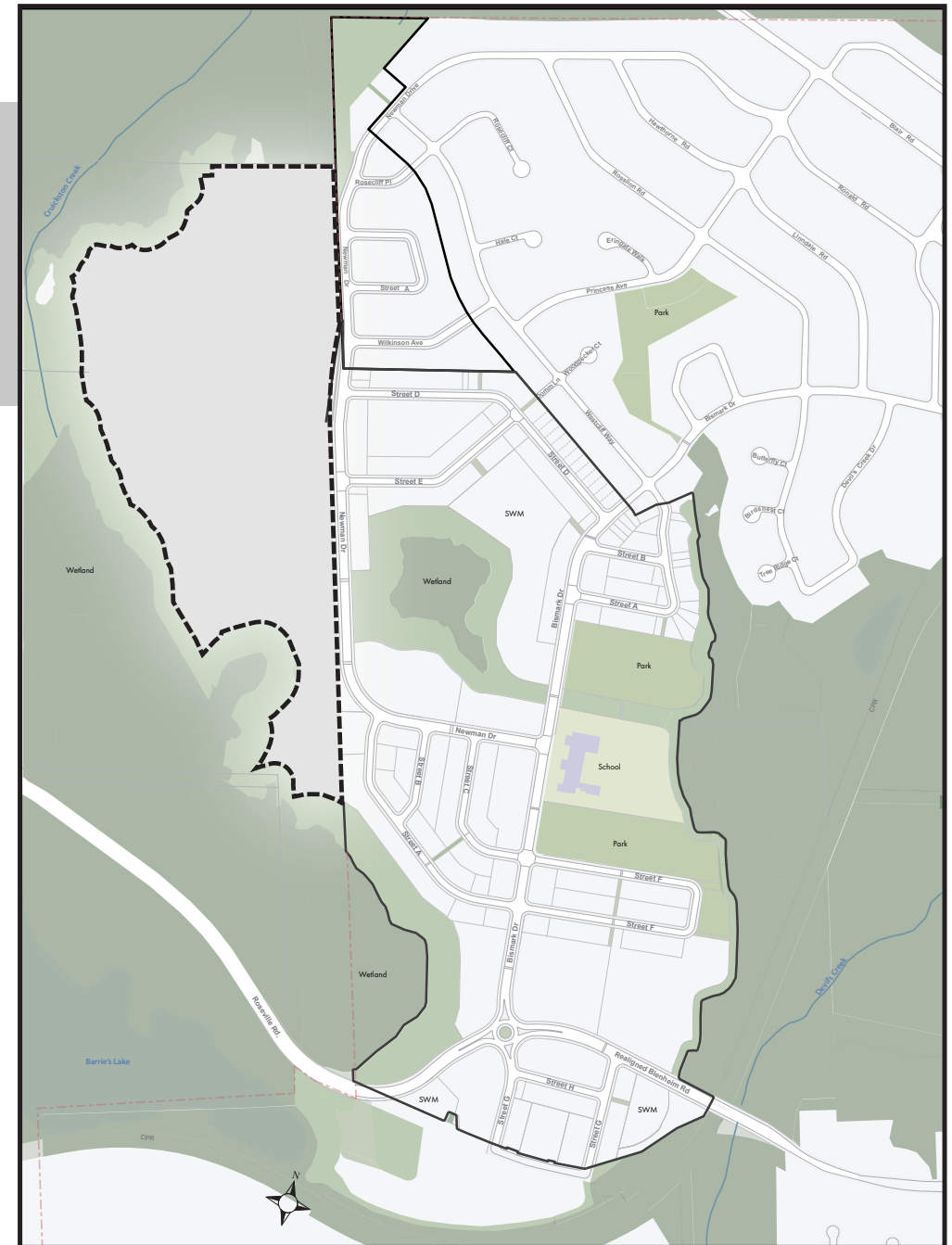
# DESIGN PRINCIPLES



# natural heritage + open space

## *Opportunities & Objectives to consider...*

- The protection of core natural heritage features.
- Implement an ecological linkage within the Phase Two lands that connects the ESL with the central wetland.
- The protection and enhancement of ecological functions.
- Provision of buffer enhancements.
- Explore Low Impact Design strategies including the elimination of the SWM facility within the Phase Two lands.
- The conveyance of significant natural heritage features and buffers for long-term public stewardship and/or partnership with rare.
- Meet or exceed infiltration targets of the approved MESP.
- *Other?*

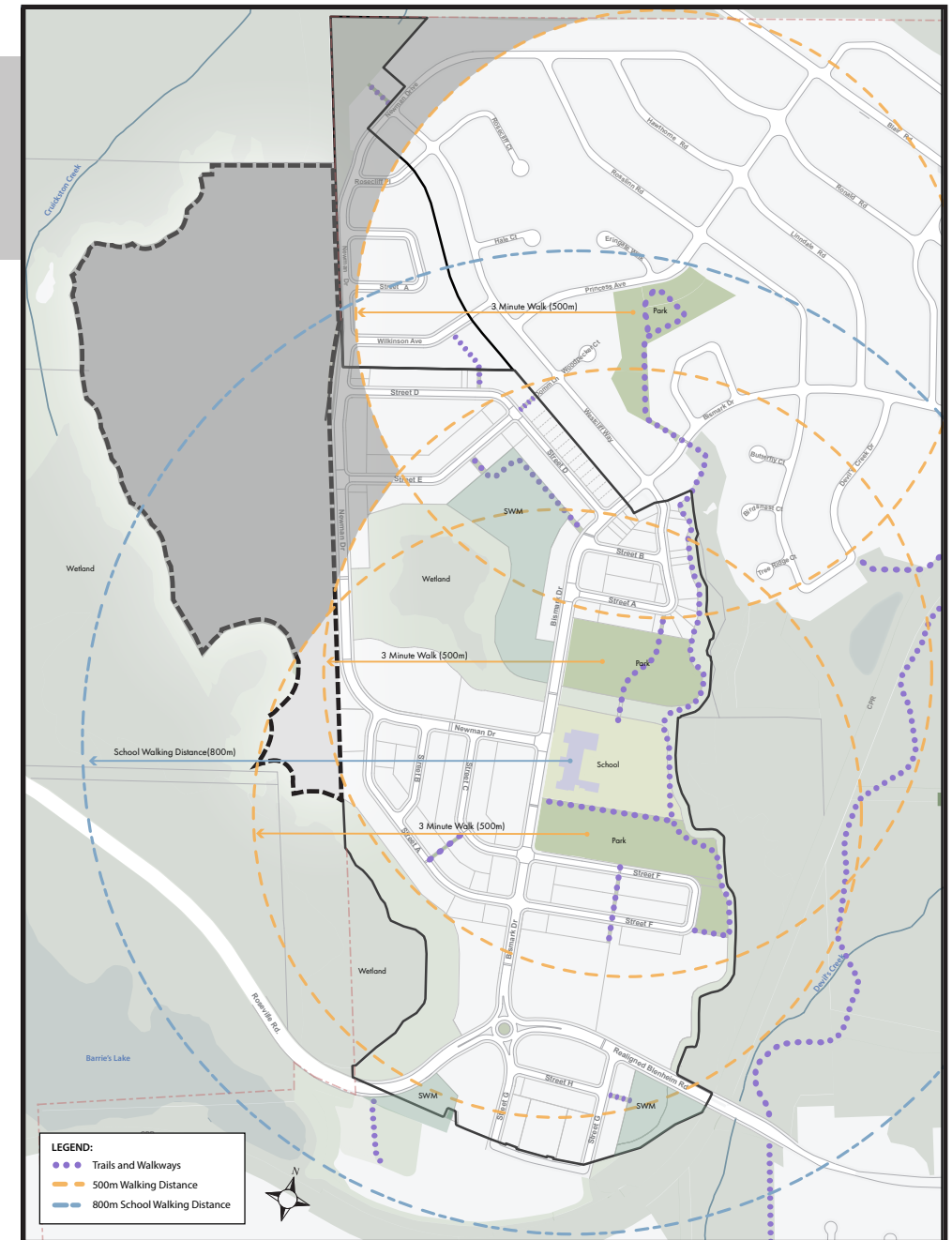




# parkland + walkability

## *Opportunities & Objectives to consider...*

- Locate parks and related amenities within walking distance of the entire Westwood Village Community.
- Provide park amenities within walking distance to residents.
- A pedestrian scaled community that promotes social interaction.
- Locate park(s) to provide a focal point and vista opportunities.
- Provide sidewalk and pedestrian connections that link to community trails and public amenities.
- Design the park in a manner that considers the Township's programming objectives.
- Design parks and pedestrian linkages to be AODA compliant.
- *Other?*

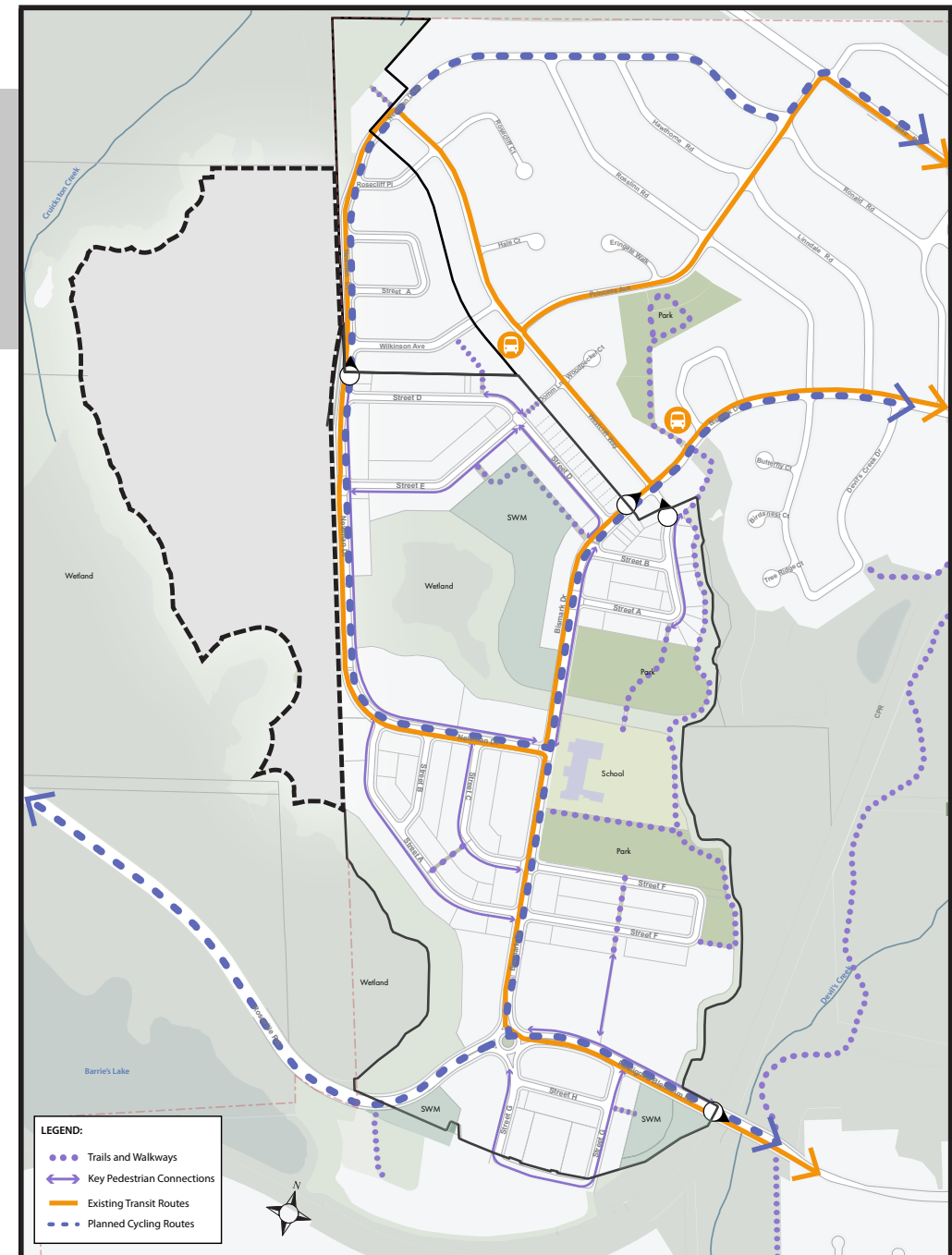




# street network + active transportation

## *Opportunities & Objectives to consider...*

- Newman Drive is planned to function as a complete street and will include a multi-use trail and sidewalk system.
- Consider approved street connections with Newman Drive as a logical extension of the street network and sidewalk system.
- Connect the Phase Two lands with trails, parks and the elementary school in the Phase One lands.
- Evenly distribute traffic both internal and external to the community.
- Provide opportunities for walking and cycling internal to the development with connections to the balance of Westwood Village.
- Design a street network that provides for efficient maintenance, including snow removal.
- Coordinate the design of streets with other functional elements, including services and overland drainage routes.
- **Other?**



# alternative street network designs

## 3 Types of Street Network Designs to Consider:



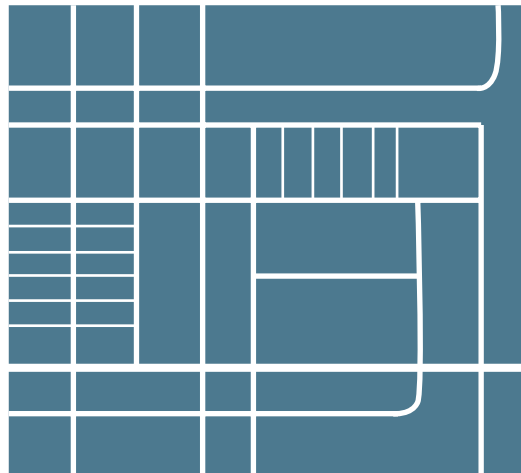
### Curvilinear/Cul-de-Sac Pattern

#### Advantages:

- Limited internal street traffic
- Greater sense of safety
- Flexibility in designing streets around natural landscapes

#### Disadvantages:

- Discontinuous/dead-end streets
- Limited links to greater transportation network
- Restricted movement/route options



### Traditional Grid Pattern

#### Advantages:

- Easy orientation and navigation
- More direct transportation routes
- Ample route options

#### Disadvantages:

- Increased traffic and noise
- Greater infrastructure costs
- Difficult to work around natural landscapes



### Modified Grid Pattern

#### Advantages:

- Continuous and well-connected streets
- Greater sense of safety and privacy
- Flexibility in designing around natural landscapes

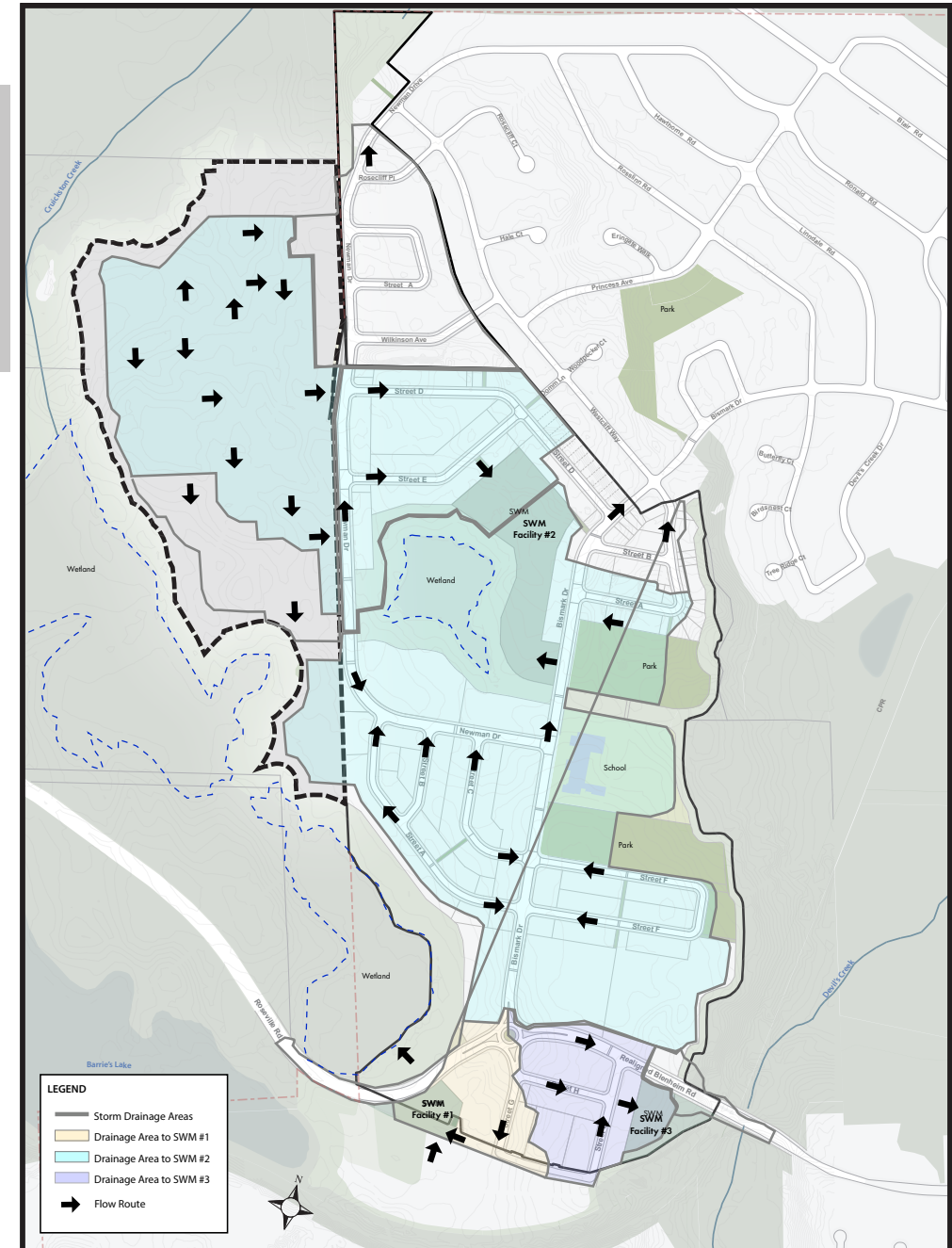
#### Disadvantages:

- Fewer route options

# sustainability + drainage

## *Opportunities & Objectives to consider...*

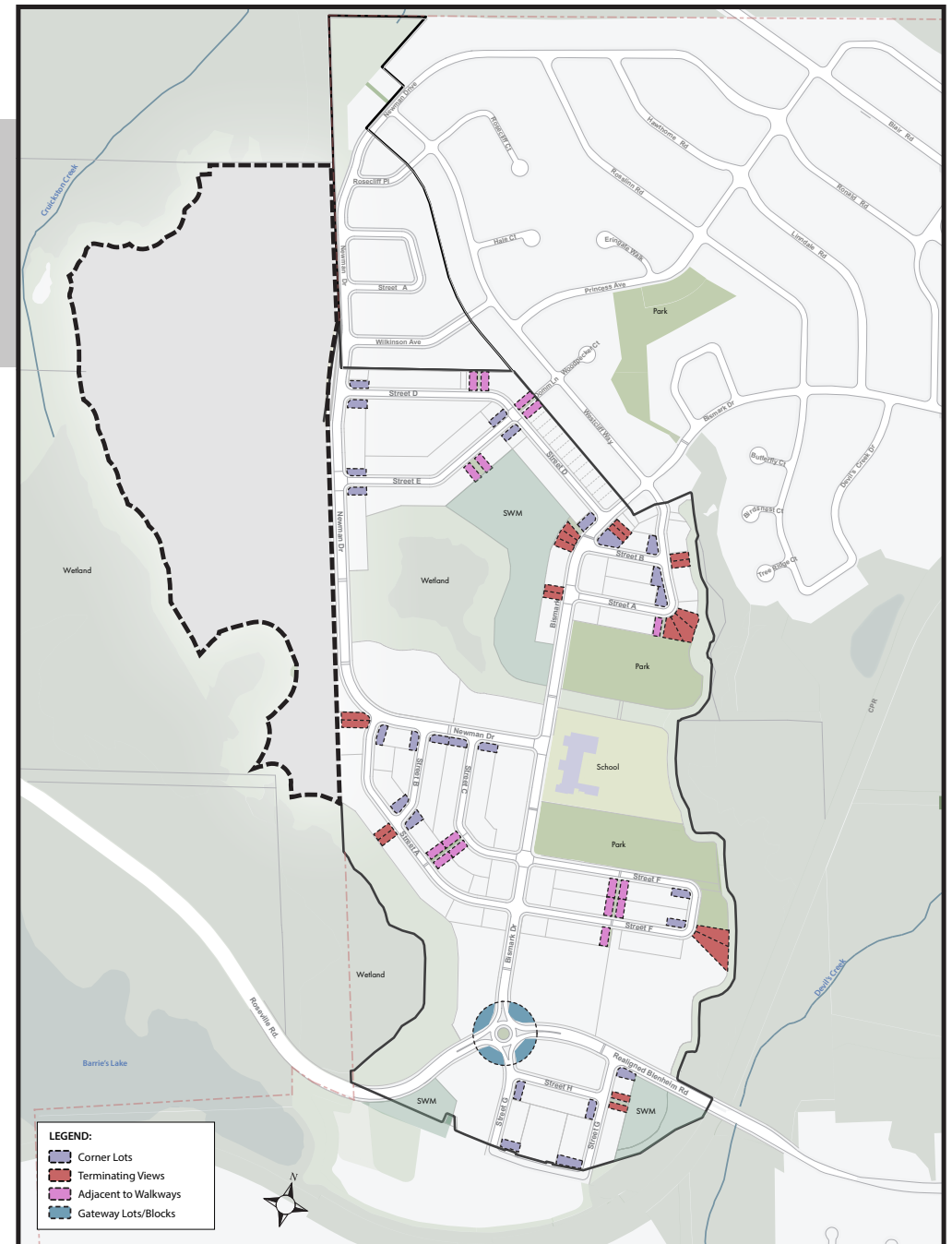
- Integrate, preserve and enhance natural features and landscapes.
- Design to respect and protect natural heritage features.
- Achieve infiltration on a distributed area basis.
- Consider opportunities to implement Low Impact Development and green infrastructure.
- Develop design guidelines that give direction to sustainable building and landscape design.
- Orientation of lots and buildings to consider passive solar opportunities.
- Building construction to consider energy efficiency.
- *Other?*



# built form

## Opportunities & Objectives to consider...

- Provision of a variety of unit types that are compatible with the surrounding area, with a minimum of 30% of new dwelling units.
- Identify priority lots and give design direction to ensure enhanced facades.
- Provide for 'eyes on the park'.
- Coordinate wayfinding features with the Phase One lands.
- Street trees and landscaping to provide visually attractive streetscapes.
- Variation in building facades and materials.
- Consider design features and decorative street lighting as design enhancements.
- Create terminating view opportunities, including enhanced building elevations.
- Design the plan to contribute to achieving the Region's DGA density targets.
- *Other?*





# Next Steps

# THANK YOU

## design workshop

march 9<sup>th</sup> 2020



# MINUTES

KITCHENER  
WOODBRIDGE  
LONDON  
KINGSTON  
BARRIE  
BURLINGTON

<b>Meeting Date:</b>	<b>March 9, 2020</b>
<b>Meeting Location:</b>	<b>Township of North Dumfries</b>
<b>File:</b>	<b>0800C</b>
<b>Subject:</b>	<b>Design Workshop</b>
<b>Attendees:</b>	<b>Andrew McNeely, Township of North Dumfries</b> <b>David Harsch, K-Smart (Engineering Consultants to the Township of North Dumfries)</b> <b>Elaine Brunn-Shaw, City of Cambridge</b> <b>Shannon Noonan, City of Cambridge</b> <b>Bryan Cooper, City of Cambridge</b> <b>Julianna Petrovich, City of Cambridge</b> <b>Jim Mallet, Paradigm</b> <b>Jeff Gross, WSP</b> <b>Garett Korber, MTE</b> <b>Paul Grespan</b> <b>Alex Serwaczek</b> <b>Paul Britton, Andrea Sinclair, Caitlin Hughes, Michelle Baya</b>

Paul provided a brief overview of the work that has been completed for Cambridge West and the Township of North Dumfries lands to date. It was noted that since Cambridge West has finalized the marketing name, Westwood Village, it would make sense to refer to the community within the City of Cambridge as Westwood Village Phase One and the community within the Township of North Dumfries as Westwood Village Phase Two. In addition, Paul provided a brief summary of the main design opportunities for consideration in the development of a vision for the community, making note of overriding design principles and objectives, most notably providing for a seamless integration with the Phase One lands and providing for sustainability and Low Impact Design through the exploration of the opportunity to eliminate the stormwater management facility.

- 1) Andrew noted that, with respect to the opportunity and objective to protect and enhance the ecological functions, it would be important to look at naturalization and vegetation when designing the trail system, as the features would assist in the creation of corridors and linkages for habitat and rear lot run-off into the ESL. There is an opportunity to improve the habitat through the creation of a more north-south corridor for wildlife.

- 2) Andrew noted that there is an eco-passage along Newman Drive but a portion of the connection is located within the Township, which provides opportunities for corridor enhancement and improved connections. It was further noted that this presents an opportunity for partnership between rare and the Township.
- 3) Andrew inquired about the City's density target and mix of unit types for Westwood Village Phase One, and whether it would be desirable to meet similar density targets within Phase Two.

Paul noted that it would be desirable to achieve similar density targets, keeping in mind that there is an opportunity to provide a variety of unit types that are compatible with the surrounding area, with a minimum of 30% of new dwelling units. In addition, Paul noted that with the desire to not have building heights exceed tree height and also ensure that the built form is consistent with the surrounding community, the intent is to have townhouses within a 3-3.5 storey height. As it relates to the mix, it is noted that there is a desire to have a mix, however the built form will generally consist of more ground related walk-ups.

- 4) Andrew inquired about whether a density of 60 people/ ha is planned for the Phase Two lands.  
Paul noted that the intent is to achieve approximately 60 people/ha, but it will be an iterative process.
- 5) Elaine noted that, relative to the Regional and Township policies for lands that will either be addressed through annexation or a Cross Border Servicing Agreement (CBSA), the City of Cambridge would have preference for similar density and unit types as the Phase One lands.  
Paul confirmed that we would be looking at similar densities and unit types. Paul also noted that when the lands were transferred, they were within the City's urban area instead of the Township urban area which provided for a logical extension of the urban area, at the time.
- 6) Andrew noted that the Board has approved policies with more direction, the review of which will be pending the completion of secondary plan and background reports. He further noted that the CBSA could be dealing with the SWM flowing through the central portion of the Phase One lands into the Phase Two lands. Andrew also noted that separate conversations with David Calder, at the City of Cambridge, were held with regard to the political appetite for a CBSA.

Andrew further noted that there are CBSA examples within the Region that should be used as template for these lands. Woolwich is one of the most recent examples.

### **Natural heritage + Open Space**

- 1) Andrew sought clarification on the natural feature limits. Paul clarified that the outline identified on the plans is the feature limit/limits of development, and also made note of the wetland feature that is to be removed.
- 2) It is noted that the shape and configuration with Newman Drive forming a fixed north-south line, provides a corridor opportunity.

Jeff Gross noted that we are currently in the process of building on work that has been done for the Master Environmental Servicing Plan (MESP). Since the MESP, there have been updates and refinements through additional field work during pre-construction monitoring. This work has also considered the Phase Two lands. Jeff also noted that the EIS that is to be submitted with the

application will include the additional work that has been done on the Phase Two lands, which included working through the City's design details for buffer treatments and establishment of connections. It is expected that the recommendations will be similar to those within the Phase One lands, and that the work done will consist of similar buffer treatment exercises.

- 3) Andrew inquired about whether the corridor from the central wetland within Bismark is 30 m.

Jeff Gross confirmed that it is 30 m and it is intended to continue on. Jeff also noted that the culverts on Newman and Bismark are 3.6 m wide and 1.2 m high, which are sized to funnel large animals north/south with fenced interfaces.

- 4) Paul made note of the design feature work that was done, which created eco-passages at bridge crossings. This could be a similar approach continuing onto the Phase Two lands.

Andrew inquired about the potential to have educational design/info boards from a look-out area or alcove, noting that residents may not be able to understand the incorporation of natural features into the stone design. The lookout area could provide opportunity for people to pause and look out, while getting information from the design/info boards.

### **Parkland + Walkability**

- 1) Paul noted that the Phase Two lands are within an 800 m walking distance, but looking at the opportunities for access to park space, there is a gap within the Phase Two lands and a portion of the Huron Creek lands. The appropriate location of a park, located central to the Phase Two lands, can address the gap between the Phase Two lands and the Huron Creek lands which could address the cash in lieu deficit.

It was further noted that the sidewalk and trail system can be built on further to provide for appropriate connections into the Phase One land amenities.

- 2) Andrew inquired about the park block and the school block location within the Phase One lands as entry points into the off-road trail system.

Paul noted that the park planning evolved around the school, and co-locating parks with schools to provide opportunities for kids to access the school and a park amenity. He further noted that there were alternatives for school locations based on criteria from the school board, however where the school is currently proposed satisfied the school boards requirements and also provided for integration opportunities with the Active Transportation Network.

- 3) Andrew noted that the location of the school block and the Phase Two lands would not provide for a direct route/active transportation connections, and there would be a requirement for kids to cross Newman Drive.

Paul noted that there should then be the appropriate street connections provided and related sidewalk system intersecting with Newman. Further, he noted that there is a trail system along the SWM pond which provides for an opportunity for crossing through the northern park to the school.

As it relates to programming for parks, it was noted that there is an opportunity to coordinate the programming within Phase One and Two through a partnership with the City and the Township.

- 4) Elaine noted that there are accessibility requirements that should be met with the design of pedestrian connections. Elaine will confirm the requirement details with the City parks team.

Paul noted that the trail is intended to be paved 4 m wide flat.

- 5) Paul noted that for collector roads within the Township, sidewalks are required to be provided on both sides, but are only required to be provided on one side for local roads.

Shannon noted that the City has the same standard, however. Shannon further noted that the road width requirements are 20 m for collector roads and 18.5 m for local roads. It was agreed upon that having the roads mimic the City standards would allow for proper interface.

Paul noted that, with the sidewalk standards and connections to the park in mind, there would be a question of where desire lines would be as it relates to pedestrian movement.

- 6) Paul noted that Newman Drive is to function as a typical cross section and, as such, traffic should be distributed in a manner that facilitates traffic movement southerly more so than northerly using Newman Drive.
- 7) Andrew inquired about whether there are any proposed trails in the southern portion of Phase Two which connect to Bismark.

Jeff noted that trails have been purposely excluded from being located within the buffer, which form part of the transfers to rare. It was further noted that lands zoned for environmental protection are not to be included within the limits of the subdivision to appropriately convey lands as one entity to rare.

- 8) Andrew noted that with the trail system not continuing further south than almost the end of the Phase Two lands, it would be important to understand where other parts of the natural system could be positioned.

Paul made note of the Huron Creek lands and associated rare sensitivities.

- 9) Andrew inquired about whether there was an identified need for an additional school in the broader area, when the Phase One plans were submitted.

Paul noted that both school boards had long-term accommodation plans with only the Waterloo District School Board requiring one site. The Catholic District School Board has not identified the need for another school site yet.

Elaine noted that as it relates to the deficit/need for parkland in Phase One which is to be addressed in Phase Two, there should be a discussion about programming. Elaine will reach out to the City's recreation department, in this regard.

Paul noted that opportunities for the coordination of programming for parks and the school, is currently being evaluated for the Phase One lands, which have a 5-6 year horizon.

Bryan noted that the work being done for the north park in Phase One presents opportunities to coordinate programming with the Phase Two lands.

## **Street Network + Active Transportation**

- 1) Andrew inquired about whether there would be need for further commercial uses, in addition to those in the Phase One lands.

It was noted that the mixed-use focal point within the Phase One lands provided for a community destination.

- 2) Andrew noted that there would be resistance in identifying a transit corridor along Bismark, since the lands were not initially in the urban area.

Shannon noted that with the layout of development and potential yield of Phase 2, it would be logical for Newman to act as a transit corridor.

Andrea noted that there would be an ability to loop transit around the northern half of the community.

Paul noted that there is a portion of the community along Newman Drive that is not currently accessible by transit. The addition of the Phase Two lands would present internal and external looping opportunities.

- 3) Shannon noted that the Region of Waterloo has asked for transit pads along Newman Drive.

Paul noted that with the secondary plan process, we should be cautious in how we identify transit routes (i.e. identifying transit routes as they are v. designated transit routes)

Andrew noted that there may be concern in the early stages of development within Phase One if transit is not in place within the neighbourhood.

It was noted that, as an action, we should approach the Region and determine if provision for Newman Drive should be made before it is built.

## **Alternative Street Network Designs**

- 1) As it relates to a street pattern, Andrew noted that a modified grid block length should be about 120 m which would provide for shorter street lengths for active transportation.

- 2) Paul noted that the existing available street connections provide for the potential for three street connections into the Phase Two lands. Further, it was noted that a design objective could be to encourage the proactive development of street calming measures through street design and active transportation.

Andrew noted that there is potential for a fourth street connection from Street 'E' which would provide for safe passage along the street.

- 3) Paul noted that the street pattern for Phase One has been designed as a modified grid pattern and, as such, it would make sense to continue this street pattern into Phase Two if this is meant to be an extension of the Phase One lands.

Andrew inquired about whether three or four road connections would be sufficient to allow for appropriate traffic distribution, if approximately 450 homes were being introduced into Phase Two.

Jim noted that 3 or 4 connections would be sufficient, but the number of connections would be primarily affected by the design than the load threshold. Jim also noted that all the transportation related work for the Phase One lands considered the development of the Phase Two lands.

### **Sustainability + Drainage**

- 1) Garrett noted that sanitary feeding into Devil's Creek would take a majority of the Phase Two lands northeast to Newman, toward the Phase One lands, to an existing sanitary network. There is a watermain coming from the south spine along realigned Blenheim Road, a stormwater pipe coming up from Bismark, a watermain along Newman Drive tying into a watermain to the north along Newman Drive. It was further noted that the Township lands have a system that ties into the Newman Drive watermain.
- 2) Garrett noted that, as it relates to the MESP strategy, there are three drainage areas with inputs to three SWM facilities located in the Phase One lands. A majority of the Phase Two lands are planned to input into the central SWM facility on the Phase One lands. Garrett noted that a contemplated fourth SWM facility was to service inputs to the wetland to the west, however there is an opportunity to eliminate this western facility and provided for an infiltration focussed approach.

Andrew sought clarification on impacts to Cruickston Creek. Garrett clarified that directing Phase Two would not interfere with Cruickston Creek.

- 3) Garrett noted that adjacent wetland would include a variety of sources, dispersed and recharge. He also noted that conveyance in the park would supplement this.
- 4) David noted that, relative to the quality of soils, which consist of sand and gravel, the same quality would be required for infiltration.
- 5) Andrew noted that the small wetland feature is located along the southern part of Newman Drive, and questioned whether the location would be of concern to the GRCA. Andrew recommended confirming with MNR on whether the wetland is part of a Provincially Significant Wetland.
- 6) Relative to the overall SWM strategy, Andrew inquired about whether infiltration was to occur at an individual lot level basis.

It was confirmed that the intent is to have focussed infiltration, to eliminate the need to outlet to wetlands. It was also noted that, for the most part, every lot will have infiltration, similar to Phase One.

- 7) Andrew noted that with the anticipated concern from most residents relating to Barries Lake, it should be emphasized that a majority of the Phase Two lands is able to drain into the approved central pond in the Phase One lands. In addition, this concern should be addressed right away during future presentations and open houses.



- 8) Andrew inquired about whether the water balance would be improving.

Garrett confirmed that presently, pre-development is at approximately 264 mm/year.

Andrew noted that City of Cambridge standards should be used for diameter piping, for proper harmonization.

- 9) Paul noted that, as it relates to green infrastructure and the contemplation of our infiltration approach, we should be meeting or exceeding the infiltration targets of the MESP.

### **Built Form**

- 1) It was noted that the Phase One lands should be used as a model, and be replicated for the Phase Two lands and determine site specific considerations for zoning.

Andrew noted that shared practices between the Phases should also include the development of condo blocks.

- 2) Andrew inquired about the possibility of including window streets near key areas of view corridor opportunities and trail entry points to loop off-road trail systems.

Paul noted the challenges that may arise, and advised that we first consider the nature of these trails.

- 3) Andrew noted that the height of buildings should be considered, relative to the tree system and bird habitats. It was noted that the maximum residential building height for the Phase one lands is 4 storeys.

Elaine noted that the urban design guidelines should address lighting, specifically future amphibian corridor lighting systems.

Paul noted that bird friendly design and street lighting has been incorporated as a design objective within the design guidelines for the Phase One lands.

Andrew noted that the Township has not proposed decorative street lighting, however it is recommended that LED street lights be used and the same light contractor (LDC) should be used.

## **Next Steps/Timeline**

### **1) Pre-Servicing Agreement**

- Andrew noted that the pre-servicing agreement would be going to Council tonight (March 9 2020)

### **2) Development of Phase One**

- **June 2021** is the target date for the building program for the Phase One lands.
- Development of Phase One will also consist of the area along Bismark, the SWM Pond, the Park and realigned Blenheim Road.

### **3) Application Submission of Phase Two**

- **June/Early July** is the target date for the application submission of the Phase Two lands.
- The intent is to include a summary of these workshop discussions into the design brief/design guidelines that are to be submitted.
- Necessary MESP updates will be provided, in the form of amended schedules and similar blended process, to appropriately address the Phase Two lands.

### **4) PIC in advance of a public meeting**

- For the open space lands, we will ensure that we are communicating to the public that the intent is to have rare take these lands.

### **5) Transfer of lands to rare**

- PEG noted that he is in close contact with rare and they are looking at various initiatives.

## Appendix E

**AMENDMENT NO.XX TO THE  
TOWNSHIP OF NORTH DUMFRIES OFFICIAL PLAN**

<b>SECTION 1</b>	<b>TITLE AND COMPONENTS</b>
<b>SECTION 2</b>	<b>PURPOSE OF THE AMENDMENT</b>
<b>SECTION 3</b>	<b>BASIS OF THE AMENDMENT</b>
<b>SECTION 4</b>	<b>THE AMENDMENT</b>
<b>SCHEDULE “A”</b>	<b>SPECIAL POLICIES –WESTWOOD VILLAGE (PHASE 2) COMMUNITY</b>
<b>SCHEDULE “B”</b>	<b>AMENDMENT TO MAP 2 OF THE TOWNSHIP OF NORTH DUMFRIES OFFICIAL PLAN – PLANNED TOWNSHIP STRUCTURE</b>
<b>SCHEDULE “C”</b>	<b>PROPOSED MAP 2.1.2 – WESTWOOD VILLAGE (PHASE 2) LAND USE DESIGNATIONS AND COMMUNITY CONCEPT PLAN</b>

**APPENDICES**

<b>APPENDIX A</b>	<b>LIST OF REPORTS PREPARED IN SUPPORT OF AMENDMENT NO. XX TO THE TOWNSHIP OF NORTH DUMFRIES OFFICIAL PLAN</b>
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**AMENDMENT NO.XX TO THE  
TOWNSHIP OF NORTH DUMFRIES OFFICIAL PLAN**

**SECTION 1 – TITLE AND COMPONENTS**

This amendment shall be referred to as Amendment No. \_\_\_\_ to the Township of North Dumfries Official Plan. This Amendment is comprised of Sections 1 to 4 inclusive, the special official plan policies applicable to the Westwood Village Phase 2 Community included as Schedule “A”, Map 2 as amended herein and included as Schedule “B” and Map 2.1.2. included as Schedule “C”.

**SECTION 2 – PURPOSE OF THE AMENDMENT**

The general purpose of this Official Plan Amendment is to provide a land use planning framework to guide the detailed planning and development of the Westwood Village – Phase 2 Community in a manner that integrates the Phase 2 Community with the approved Westwood Village – Phase 1 Community located to the east while respecting and protecting Core Environmental Features located within the adjacent Blair-Bechtel-Cruikston ESL located to the west, north and south. This amendment considers the environmental framework of the Cambridge West MESP, the planning that has occurred for the Westwood Village – Phase 1 Community as well as Provincial, Regional and Township policies.

This amendment:

- 1) Implements the Urban Area designation and the Urban Designated Greenfield Area policies of the in effect Regional Official Plan and the Township of North Dumfries Official Plan that apply to the Westwood Village – Phase 2 Community.

- 2) Addresses land use policy matters outlined in Policy 2.1.4 of the Township of North Dumfries Official Plan.
- 3) Amends Map 2 of the Township of North Dumfries Official Plan to reference additional special policies that are applicable to the Special Policy Area that has been identified for the Westwood Village – Phase 2 Community.
- 4) Provides appropriate policy direction to the design and development of the Westwood Village – Phase 2 Community.
- 5) Establishes appropriate land use designations and related policies for the Westwood Village – Phase 2 Community
- 6) Establishes urban design, open space, environmental, servicing and transportation policies for the Westwood Village – Phase 2 Community.
- 7) Considers and addresses the Cambridge West Master Environmental Servicing Plan (MESP) as it relates to the Westwood Village – Phase 2 Community.
- 8) Adds Map 2.1.2 - Westwood Village (Phase 2 Community) Land Use Designations
- 9) Makes minor editorial revisions to the Township of North Dumfries Official Plan, as necessary.



## **SECTION 3 – BASIS OF THE AMENDMENT**

### **3.1 Location and Description of the Subject Lands**

The Westwood Village - Phase 2 Community (the Phase 2 Community) is located immediately to the west of the developing Westwood Village – Phase 1 Community that is located within the City of Cambridge. The Phase 2 Community has an area of approximately 25.3 hectares (62.51 acres) and is situated between the developing residential neighbourhood to the east and the Blair-Bechtel-Cruickston Environmentally Sensitive Landscape (ESL) located to the west, north and south. Significant natural features located within the adjacent Blair-Bechtel-Cruickston Environmentally Sensitive Landscape are designated as “Core Environmental Features” in both the Regional Official Plan and the Township of North Dumfries Official Plan and are to be protected.

The Phase 2 lands have historically been used for agricultural purposes. Area grading of the adjacent Westwood Village – Phase 1 Community has taken place. The approved grading design provides for a cut/fill balance which includes the placement of fill on the Phase 2 lands. The intent is to return the Phase 2 lands to an interim agricultural use until such time as planning approvals are received and development proceeds.

In addition to agricultural uses, lands to the west of the Phase 2 Community are characterized by a number of Core Environmental Features including wetlands, subwatersheds and related features which have been evaluated comprehensively through the Cambridge West MESP process and more focused analysis undertaken in support of and to inform this amendment. The “in effect” ROP and Township of North Dumfries Official Plan designate the lands to the west as “Protected Countryside.”

### **3.2 Existing Planning Regime**

Section 2 of the *Planning Act* sets out matters of provincial interest that decision makers shall have regard to in carrying out their responsibilities. The provincial interest in land use planning is largely reflected in the provincial policy framework and official plans that implement provincial policies. The Regional Official Plan and the Township Official Plan have been brought into conformity with the Growth Plan (2005) and the Provincial Policy Statement (PPS) that was in place at the time. A Place to Grow – Growth Plan (2020) and the Provincial Policy Statement (2020) have since been approved and decisions in respect of the exercise of any authority that affects planning matters are to conform with the Growth Plan and are to be consistent with the PPS that are now in effect.

The Growth Plan and Provincial Policy Statement have similar policy thrusts with respect to infrastructure planning, climate change, the protection of water resources, the natural environment, hydrologic features and areas, public open space and “Where and How to Grow”. The majority of growth is directed to settlement areas and the policy framework prioritizes intensification both generally and in strategic growth areas and as the basis to focus investments in transit, other types of infrastructure and public service facilities.

The Phase 2 Community is designated as Urban Area in the Regional Official Plan (ROP) and forms part of the Region’s Designated Greenfield Area (DGA). The ROP confirms that lands within the Urban Area have the greatest capacity to accommodate growth and are to serve as the primary focus for employment, housing, cultural and recreational opportunities in the Region. The Urban Area designation of the ROP has been carried forward into the Township of North Dumfries Official Plan. This designation provides for urban uses and finalizing land use designations and related policies will occur through approval of this amendment.

The Phase 2 Community is the only designated Urban Area and designated Urban Greenfield Area in the Township of North Dumfries. Related policies establish higher density targets compared to Township

Designated Greenfield Areas. In this regard, Policy 2.5.2 (b) (iv) of the Township of North Dumfries Official Plan confirms the Phase 2 Community is to be planned and developed to meet or exceed minimum density targets of the Township Designated Greenfield Areas.

The Phase 2 Community is also subject to Policy 2.1.4 of the Township of North Dumfries Official Plan. Among other matters, this policy confirms:

- The Phase 2 Community is to be developed on municipal water and wastewater services through the City of Cambridge;
- A requirement for an Official Plan Amendment to be approved, prior to development;
- Matters to be addressed by this amendment; and
- Studies to be prepared in support this amendment.

This Official Plan Amendment implements the Urban Area designation and the Urban Designated Greenfield Area policies that apply. This amendment also addresses and implements Policy 2.1.4 and Policy 2.5.2 (b) (iv) of the Township of North Dumfries Official Plan by establishing appropriate density targets, land use and related policies, urban design, open space, environmental, servicing and transportation policies. In short, this amendment provides a land use planning framework to guide the design and development of the Westwood Village – Phase 2 Community in conformity with the overarching land use planning framework that is in place.

### **3.3 Cambridge West Collector Road Environmental Assessment and Master Environmental Servicing Plan (MESP)**

The Cambridge West MESP was undertaken by the City of Cambridge and area landowners in order to provide the necessary environmental and servicing studies to facilitate development. Fieldwork commenced in 2009 and the MESP Terms of Reference was approved by City of Cambridge Council in April,

2011. The MESP was approved by the Grand River Conservation Authority (GRCA) on January 24, 2014, the City of Cambridge on March 17, 2014 and Region of Waterloo on April 9, 2014. The MESP includes recommendations relating to:

- A preferred collector road network;
- The identification/delineation of significant environmental features;
- Recommended development setbacks from significant environmental features;
- Buffer management measures including fencing, signage, native species plantings, targeted habitat creation and trail recommendations;
- Improved wildlife passage at road crossings;
- Water and sewer connection options; and
- A stormwater management strategy.

Infrastructure planning for the area has been integrated with subwatershed planning, class environmental assessments and other planning processes. Infrastructure that has been approved using an “integrated” approach includes sanitary sewers, water distribution, stormwater management facilities, storm sewers and a collector road network. The collector road network that will serve the general area has been finalized and is comprised of the realignment of Blenheim Road and the extension of Bismark and Newman Drives. The eastern limit of the Phase 2 Community is adjacent to and defined by the Newman Drive extension. Newman Drive connects the Phase 2 Community to the Westwood Village – Phase 1 Community, other collector roads and the broader regional road network.

The transportation network study and more detailed transportation impact study associated with the Phase 1 Community, concluded that the estimated traffic volumes that would originate from the development of the area (including the Phase 2 Community) could be accommodated by the planned collector road

network. . An updated transportation impact study has been prepared in support of this amendment and confirms the conclusions of the original reports.

### **3.4 Other Studies**

Policy 2.1.4 of the Township of North Dumfries Official Plan directs the preparation of reports that review and build upon studies prepared in support of the Cambridge West MESP, environmental assessments and planning processes associated with the Phase 1 Community. Report requirements were identified at a pre-submission consultation meeting that took place on October 3, 2019. All required reports have been prepared and submitted as part of the “Complete Applications” that have been submitted. The reports comprehensively address a range of matters including traffic/road network capacity, land use planning policies and considerations, urban design, hydrogeology, hydrologic considerations, stormwater management, servicing, and the natural environment. The reports that have been prepared in support of this Official Plan Amendment form part of the Basis of the Amendment and are listed in Appendix “A”.

### **3.5 General Description of the Official Plan Amendment**

This amendment implements the Urban Area designation and the Urban Designated Greenfield Area policies of the “in effect” Regional Official Plan and the Township of North Dumfries Official Plan and address policy matters that are outlined in Policy 2.1.4 and Policy 2.5.2 (b) (iv) of the Township of North Dumfries Official Plan. This amendment addresses the minimum density target for the Phase 2 Community, the hierarchy of residential and other land use designations, urban design policies, open space and environmental policies as well as infrastructure and transportation related considerations. This amendment also considers the Cambridge West MESP and directs that an amendment to the stormwater management strategy be implemented. The amended strategy ensures chlorides associated with urban development are directed away from the Blair-Bechtel-Cruickston ESL and to Stormwater Management Facility No. 2 located

within the Phase 1 Community. Clean water will continue to be directed to the wetland to ensure surface water contributions to the wetland are maintained.

The special policies establish principles for the design and development of the Phase 2 Community, confirm the general land use pattern and identify the conceptual location of parks, roads and infrastructure. The special policies provide for the protection of the adjacent natural heritage and open space network established by the Cambridge West MESP which also forms part of the Basis of the Amendment.

This amendment builds upon the policy framework associated with the Westwood Village – Phase 1 Community. The special policies outline: goals, a design vision, objectives and land use policies that will guide the detailed planning and the orderly development of the community in a manner that integrates with the Phase 1 Community and protects Core Environmental Features located within the adjacent Blair-Bechtel-Cruickston ESL.

### **3.4.1 Proposed Land Use Changes**

The Phase 2 lands are designated for agricultural purposes. The agricultural land use designation “predates” the Urban Area designation and the Urban Designated Greenfield Area policies that apply. New land use designations are shown on Map 2.1.2 included as Schedule “C”. The land use designations and associated policies provide for a range of residential uses that satisfy the Region’s affordable housing policies and complement the Phase 1 Community. Adjacent buffers are proposed to be designated for open space purposes as part a strategy that will protect Core Natural Heritage features located outside the limits of the community.



### **3.4.2 Consideration of Provincial Policies and the *Planning Act***

#### **Provincial Policy Statement, 2020**

The Provincial Policy Statement (2020) directs growth to 'Settlement Areas' on full municipal services (Policy 1.1.3) and also directs that new development taking place in designated growth areas should have a compact form, a mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities. The Phase 2 Community is located adjacent to the Westwood Village – Phase 1 Community and has been planned to complement and integrate with Phase 1. The two communities will provide a mix of uses including residential, commercial, institutional and open space uses at densities that promote the efficient use of land, infrastructure and public service facilities. The Phase 2 Community has been designed to efficiently use land and planned infrastructure that will be constructed within the Phase 1 Community.

Policy 1.6.6.2 of the PPS provides that municipal water and sewage services are the preferred form of servicing in settlement areas. The Township of North Dumfries Official Plan contemplates that the Phase 2 Community will connect to municipal services to be provided when the Phase 1 – Community develops. Infrastructure planning has anticipated and makes provision for the development of the Phase 2 Community.

Policy 1.6.7.1 of the PPS directs that transportation systems should be provided which are safe, energy efficient, facilitate the movement of people and goods to address projected needs. A collector road network has now been approved and related planning took the Phase 2 Community into consideration. The Phase 2 Community is adjacent to and will access the Newman Drive extension which forms part of the collector road network approved for the area.

Policy 2.1 of the PPS provides for the protection of significant natural features. There are no designated Core Environmental Features within the development limits that are proposed. The Phase 2 Community is however, adjacent to the Blair-Bechtel-Cruickson ESL and associated environmental features. This adjacency

is recognized by this amendment which provides for naturalized buffers, development setbacks and a dedicated wildlife corridor that will link the central wetland within the Phase 1 Community located to the east to the Blair-Bechtel-Cruickson ESL located to the west.

Policy 2.6.1 of the PPS provides that significant built heritage resources and significant cultural heritage landscapes shall be conserved. There are no significant built heritage resources or cultural heritage landscapes within the Phase 2 Community. The Blair-Bechtel-Cruickston ESL defines the permanent boundary of the Urban Area and separates the Phase 2 Community from the rural landscape located to the west. Archaeological evaluation of the Phase 2 Community has taken place and clearance has been received.

The Special Official Plan Policies outlined in this amendment are consistent with the PPS.

### **A Places to Grow – Growth Plan for the Greater Golden Horseshoe (2020)**

A Place to Grow Growth Plan (2020) includes policies on “Where and How to Grow”. Policy 2.2.7(1) provides that new development that is located in the Designated Greenfield Area (DGA) will be planned, designated, zoned and designed in a manner that: supports the achievement of complete communities; supports active transportation; and encourages the integration and sustained viability of transit services. The Phase 2 Community is located within the Region’s Urban Designated Greenfield Area. The Phase 2 Community has been planned as an extension of and to integrate with the Phase 1 Community. The two communities when considered together provide a mix of land uses, and densities to support the introduction of transit service and options for active transportation in the form of trails, walkways, sidewalks and bicycle routes that connect the park and open space system that is planned.

Section 2.2.7(2) of the Growth Plan requires that the DGA be planned to achieve a minimum density that is not less than 50 residents and jobs combined per hectare. The greenfield density target is to be measured

over the entire DGA of the Region of Waterloo. The Phase 2 Community has been planned to meet and exceed the minimum density target of the Growth Plan.

The Special Official Plan policies outlined in this amendment conform to A Place to Grow - Growth Plan for the Greater Golden Horseshoe.

### **Planning Act**

Section 2 of the Planning Act requires that municipalities shall have regard to matters of provincial interest including: the protection of ecological systems; the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest; the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems; the orderly development of safe and healthy communities; the adequate provision and distribution of educational, health, social, cultural and recreational facilities; the adequate provision of a full range of housing, including affordable housing; and the promotion of development that is designed to be sustainable to support public transit and to be oriented to pedestrians.

The special policies outlined in this amendment have had appropriate regard to and address matters of provincial interest.

### **Regional Official Plan (ROP), June 2015**

The ROP designates the Phase 2 Community as Urban Area and the community is located within the Region's 'Urban Designated Greenfield Area'. Policy 2.D. 17 of the ROP confirms that the density across the 'Urban Designated Greenfield Area' is to meet or exceed a minimum density target of 55 people and jobs per hectare. The Special Official Plan policies outlined in this amendment provide for development that will meet and exceed this minimum density targets.

Policy 2.D.1 of the ROP provides that the Region and area municipalities will ensure that development occurring within the Urban Area is planned and developed in a manner that: supports the Planned

Community Structure, is serviced by a municipal drinking-water supply system and a municipal wastewater system; contributes to the creation of complete communities; protects the natural environment, surface water and groundwater resources; conserves cultural heritage resources; and respects the scale, physical character and context of established neighbourhoods. The special policies outlined in this amendment appropriately consider and address applicable policies of the ROP.

The proposed Official Plan Amendment conforms to the Regional Official Plan.

### **Township of North Dumfries Official Plan, 2018 Consolidation**

The Phase 2 Community is the only designated Urban Area and Urban Designated Greenfield Area within the Township of North Dumfries. The ROP and Township Official Plan acknowledge the Phase 2 Community may develop at higher densities than Township Designated Greenfield Areas. The special policies outlined by this amendment provide for densities and a community design that implements the policy framework of the Township Official Plan in a manner that both integrates and is compatible with the Phase 1 Community

Policy 2.1.4 of the Township of North Dumfries Official Plan outlines land use policy matters that are to be addressed by this amendment. The special policies of this amendment provide an appropriate framework for guiding the design and more detailed planning of the Westwood Village – Phase 2 Community as directed by Policy 2.1.4. This amendment

- Provides for a range of housing types and appropriate land use designations;
- Details urban design, open space, environmental, servicing and transportation policies;
- Addresses the Cambridge West MESP;
- Provides for the logical extension of and integration with the Westwood Village – Phase 1 Community;

- Is supported by required studies that have informed the design of the community and proposed policy framework.

### **Natural Environment Framework and Other Outcomes of the Cambridge West MESP**

The Cambridge West MESP includes a detailed Natural Environmental Study which identifies and delineates the limits of natural heritage features and their associated setbacks and buffers, wildlife corridors and linkages. Feature limits have since been reviewed in the field. The Community Concept Plan and land use designations accurately reflect the limits of natural features that have been field verified and surveyed. This amendment puts a policy framework in place to ensure the implementation of appropriate buffers, development setbacks and ecological corridors.

The Cambridge West MESP satisfied Phases 1 and 2 of the Municipal Class Environmental Assessment including the preferred alignment of the collector road network. The MESP recommended a minimum of three collector road connections and concluded the best connection points to the existing transportation network are Newman Drive, Bismark Drive and Blenheim Road. The MESP also recommended the realignment of Blenheim Road. Phases 3 and 4 of the Municipal Class EA were integrated with the planning process for the Phase 1 Community. This amendment ensures the Phase 2 Community will be well connected to the approved collector road network. This amendment also provides for a park system that complements park and open spaces associated with the Phase 1 Community. This amendment directs and provides for pedestrian, active transportation and vehicular connectivity between the two communities.

This amendment conforms to the general policy framework of the Township Official Plan, addresses policy matters outlined in Policy 2.1.4 and Policy 2.5.2 (b) (iv) of the Official Plan, considers the Cambridge West MESP and is consistent with planning policies relating to the Westwood Village – Phase 1 Community.

#### **SECTION 4.0 THE AMENDMENT**

1. Add Special Policy 2.6.13.5 (Special Policies for the Westwood Village – Phase 2 Community) detailed in Schedule “A”.
2. Amend Map 2 (Planned Township Structure) by adding reference to Special Policy 2.6.13.5 in relation to the Special Policy Area identified for the Westwood Village – Phase 2 Community as shown in Schedule “B”.
3. Add Map 2.1.2. - Westwood Village (Phase 2 Community) Land Use Designations as shown in Schedule “C”.
4. Amend the table of contents to reflect this amendment.



## **SCHEDULE "A"**

### **WESTWOOD VILLAGE (PHASE 2) SPECIAL POLICY AREA 2.6.13.5**

#### **2.6.13.5.1 INTRODUCTION**

Special Policy Area 2.6.13.5 applies to the Westwood Village – Phase 2 Community (the Phase 2 Community) identified on Map 2 of the Township of North Dumfries Official Plan. The Phase 2 Community is located within the Region's designated Urban Area and Urban Designated Greenfield Area and is the only community so designated in the Township of North Dumfries. The Phase 2 Community represents the logical extension of the Westwood Village – Phase 1 Community (the Phase 1 Community) located to the immediate east and within the City of Cambridge. The special policies that apply to the Phase 2 Community address land use matters set out in Policy 2.1.4 of the Township of North Dumfries Official Plan and specifically the hierarchy of residential and other land use designations, urban design, open space, the natural environment as well as servicing and transportation. The special policies build upon the policies of the Township of North Dumfries Official Plan, the Cambridge West Secondary Plan that applies to the Phase 1 Community, related design guidelines, and the framework and recommendations of the approved Cambridge West Master Environmental Servicing Plan (MESP).

#### **2.6.13.5.2 PURPOSE OF THE SPECIAL POLICIES**

The general purpose of the special policies is to provide a land use planning framework to guide

the detailed planning and development of the Westwood Village - Phase 2 Community in a manner that integrates the Phase 2 Community with the Westwood Village Phase 1 Community located to the east while respecting and protecting the surrounding natural heritage features located to the west, north and south.

The Phase 2 Community is to integrate with the Westwood Village - Phase 1 Community. The two communities in combination, will contribute to the achievement of a complete community and provide opportunities for a range of housing, population related employment, institutional and service uses, transportation options including active transportation, parks, open space and community facilities.

Development within the Special Policy Area is to conform to and implement the Region of Waterloo Official Plan and the general policies of the Township of North Dumfries Official Plan. In addition to the policies of this Special Policy Area, all other applicable policies of the Township of North Dumfries Official Plan shall apply. In the event of a policy conflict, the policies of the Westwood Village (Phase 2) Special Policy Area shall prevail.

#### **2.6.13.5.3 ORGANIZATION OF THE SPECIAL POLICIES**

The special policies for the Westwood Village (Village 2) Community consist of the following:

- I. Goals for the special policies (Section 2.6.13.5.4)
- II. Design vision, principles and policies ([Section 2.6.13.5.5](#))

- III. Community structure policies (Section 2.6.13.5.6)
- IV. Community design principles and policies (Section 2.6.13.5.7)
- V. Land use policies (Section 2.6.13.5.8)
- VI. Servicing, phasing and staging policies (Section 2.6.13.5.9)
- VII. Implementation policies (Section 2.6.13.5.10)
- VIII. Map 2.2.1 – Westwood Village – Phase 2 Community Design and Land Use Designations

#### **2.6.13.5.4 GOALS**

The goals of the Special Policies are to:

- i. Implement the Urban Area and the Urban Designated Greenfield Area policies of the Regional Official Plan and Township of North Dumfries Official Plan.
- ii. Confirm a design vision, design principles and related policies.
- iii. Establish a policy framework to guide the design and development of the Phase 2 Community.

- iv. Establish an appropriate community structure, land use designations and land use policies.
- v. Ensure the protection of adjacent Core Environmental Features identified by the Cambridge West Master Environmental Servicing Plan (MESP) and designated by the Regional Official Plan and Township of North Dumfries Official Plan.
- vi. Ensure the Phase 2 Community seamlessly integrates with the adjacent Westwood Village (Phase 1) Community.
- vii. Ensure the orderly development of the community by providing guidance to the review and approval of development applications and by outlining a servicing and phasing strategy that provides for orderly development.
- viii. Ensure an appropriate mix of housing types and sizes, including opportunities for affordable housing in conformity with the Regional Official Plan.
- ix. Achieve densities and a community design that in combination with the Phase 1 Community, support the introduction of transit.
- x. Ensure compatible built form and development relative to existing and planned communities.

#### **2.6.13.5.5      DESIGN VISION, PRINCIPLES AND POLICIES**

The design vision for the Westwood Village (Phase 2) Community is as follows:

*“The overriding design vision and planning objective is to seamlessly integrate the Westwood Village (Phase 2) Community with the approved Westwood Village – (Phase 1) Community located to the east. To this end, the Phase 2 Community will complement and integrate with the Phase 1 Community and surrounding area. The design and development of the Phase 2 Community will provide for the extension of planned services including the active transportation network and ensure the protection and where possible, the enhancement of adjacent Core Environmental Features consistent with the approved Cambridge West MESP. A mix of residential and supporting land uses are to be provided in a manner that builds upon and supports the community structure approved for the Phase 1 Community. The Phase 2 Community will include an active park that is both central and connected to the community. Streets and related services will be designed as a modified grid and as an extension of infrastructure planning that has occurred”.*

The design vision for the Westwood Village (Phase 2) Community, related design principles and policies are a result of a comprehensive, multi-disciplinary and iterative planning process. The following general principles and policies together with more detailed direction are intended to achieve the vision for the Westwood Village (Phase 2) Community and are to be used to guide the design of subdivisions, conditions of subdivision approval and other planning processes:

- a) Plans of subdivision and implementing zoning are to provide for the integration of the Phase 2 Community with the Westwood Village (Phase 1) Community in a manner that is compatible with existing and planned development.
- b) The Westwood (Phase 2) Community should be planned to achieve similar densities as the Westwood Village (Phase 1) Community.
- c) The Westwood (Phase 2) Community will contribute to achieving the Region's density target for Urban Designated Greenfield Areas. To this end, the Phase 2 Community will be planned and developed to meet or exceed a minimum density of 55 residents and jobs combined per hectare.
- d) The Westwood Village (Phase 2) Community is to be planned as the completion of and to complement the Westwood Village (Phase 1) Community.
- e) Design guidelines are to be prepared in support of draft plans of subdivision and used as a "tool" to ensure a well-designed community, public spaces and built form.
- f) Sidewalks and walkways are to be planned in a manner that encourages walkability and are connected to parks as well as the active transportation network planned for the Westwood Village (Phase 1) Community.



- g) The design of the road and sidewalk system is to be based on a modified grid pattern and as an extension of the road pattern approved for the Westwood Village (Phase 1) Community.
- h) Core Environmental Features within the adjacent Blair-Bechtel-Cruickston ESL are to be protected and where possible enhanced.
- i) The design of subdivisions is to make provision for an east/west environmental corridor that links the central wetland located to the east and within the Phase 1 Community to Core Environmental Features located within the Blair-Bechtel-Crickston ESL located to the west. The environmental corridor is to align with the Newman Drive eco-passage.
- j) Traffic calming measures are to be planned as part of the detailed engineering design associated with subdivisions with consideration given to safe pedestrian crossings at entrances to proposed parks.
- k) The Phase 2 Community is to include a range and mix of residential land uses and lot widths that complement residential land uses approved for the Phase 1 Community.

#### **2.6.13.5.6 COMMUNITY STRUCTURE**

Community structure generally refers to structural components, design elements and features that assist in organizing land use, movement and activities within a community. For example, functional

areas within the Region are generally connected to nodes and corridors by roads, transit, cycling, paths and other active transportation networks.

The ROP and the Township of North Dumfries Official Plan identify the major functional areas of the planned community structure including the designated Urban Area. The Phase 2 Community is located within the designated Urban Area and more particularly, within the Urban Designated Greenfield Area. Policies of the ROP and Township Official Plan confirm the Phase 2 Community is to develop for residential purposes and at densities consistent with the Urban Designated Greenfield Areas.

Planning for the Westwood Village (Phase 1) Community established a more finely grained structure at the neighbourhood level including major road connections to external neighbourhoods, the identification of Community Focal Points (nodes), a collector road network, an active transportation network, an open space and park system and a transit and servicing spine. The Phase 2 Community is planned as an extension of and to integrate with the Westwood Village – Phase 1 Community. As a result, there are some structural elements that are specific to the Westwood Village – Phase 2 Community and other structural elements that are to be provided within the Phase 1 Community that will support and/or be supported by the Phase 2 Community.

The community structure policies for the Westwood Village (Phase 2) Community are as follows:

- a) Local roads are to connect directly to Newman Drive and are to be designed and planned to distribute traffic both within the Phase 2 Community and to Newman Drive.

- b) Streets and sidewalks are to be planned to connect to streets and the active transportation network planned for the Westwood Village (Phase 1) Community.
- c) Higher density residential uses are to be located at the southern end of the community and adjacent to or within walking distance of Newman Drive to provide support for transit and in consideration of traffic studies prepared in support of the collector road network.
- d) An active park is to be located central to the community and within walking distance of future residents of the community. Parkettes should be considered adjacent to open space and provide view, vista and passive recreational opportunities.
- e) The local road pattern is to be designed as a “grid” with modifications based on considerations such as natural environmental features and related buffers, property configuration and good engineering design.
- f) Built form is to be designed in a manner that frames intersections and provides for attractive and defining entrances to the community.
- g) Entrance features and wayfinding features are to be provided at entrances to the community and the central park. The design of the features is to be coordinated with features planned for the Westwood Village – Phase 1 Community.

- h) An eco-passage is to be designed, constructed and coordinated with the Newman Drive eco-passage. The purpose of the eco-passage is to connect the Central Wetland located to the east and within the Westwood Village (Phase 1) Community to Core Environmental Features located to the west and within the Blair-Bechtel-Cruickston Environmental Sensitive Landscape.
- i) The Blair-Bechtel-Cruickston ESL defines the limits of the Designated Urban Area and prevents urban encroachment into the rural area located further to the west. Core Environmental Features within the ESL are to be protected and related buffers are to define the limits of development.

#### **2.6.123.5.7 COMMUNITY DESIGN PRINCIPLES AND POLICIES**

Additional and more detailed community design principles and policies that apply to the Westwood Village (Phase 2) Community have been organized as follows:

- 1) Natural Open Space system.
- 2) Parks.
- 3) Walkability, Active Transportation and Road Network Design
- 4) Placemaking and Amenities.
- 5) Sustainability.

#### **2.6.13.5.7.1 Natural Open Space System**

The principles and policies relating to the natural open space system are based on and implement the Greenlands Network and related policies of the Regional Official Plan (ROP), the Township Official Plan, the Natural Heritage Strategy of the Cambridge West MESP and the more detailed recommendations of the Environmental Impact Study (EIS) prepared by WSP Canada Inc. (April, 2020). The overriding goal for the natural open space system is to maintain, restore and where possible, enhance adjacent Core Environmental Features and their associated ecological functions.

The following natural open space principles and policies apply to the Westwood Village (Phase 2) Community:

- a) Environmental Impact Studies are to be prepared in support of plans of subdivision.
- b) The limits of Core Environmental Features are to be confirmed by required Environmental Impact Studies and surveyed as input to the design of subdivisions within the community.
- c) Development limits within plans of subdivision are to respect setbacks from adjacent Core Environmental Features.
- d) Lands between Core Environmental Features and setbacks are to be established as buffers that are to be enhanced through a combination of native herbaceous seeding and native species plantings as part of an overall strategy to protect the natural environment.

- e) Access to adjacent Core Environmental Features is to be limited as directed by the Cambridge West MESP. Access is to be controlled through measures such as permanent fencing, property delineation markers, signage and/or buffer plantings and such measures are to be secured as conditions of development approval.
- f) Although Core Environmental Features within the Blair-Bechtel-Cruickston ESL are located outside the limits of the Phase 2 Community, property owners are encouraged to develop a long-term environmental stewardship plan which could include the transfer of ownership of Natural Heritage Features to public agencies or consolidated as part of the rare Charitable Research Reserve.
- g) Any stewardship plan that is prepared, should consider the merits of a formal trail connection in the vicinity of the existing farm access or alternatively restoring and enhancing the farm access to strengthen the north/south environmental corridor and related linkage function.
- h) Subdivision designs are to make provision for an environmental corridor that connects the central wetland located to the east and within the Phase 1 Community with environmental features within the Blair-Bechtel-Cruickston ESL located to the west. The environmental corridor is to be located in the vicinity of and designed to connect to the Newman Drive eco-passage as conceptually shown on Map 2.1.2.

- i) Subdivision applications are to be supported by a water budget and conditions of development approval are to ensure pre-development hydrologic inputs to terrestrial, wetland and aquatic features are maintained and where possible, enhanced.
- j) Subdivision applications are to be supported by a groundwater infiltration strategy and conditions of development approval are to ensure post-development groundwater infiltration maintains or exceeds pre-development infiltration as a means to enhance the quantity of groundwater.
- k) Implementation of at source infiltration on a distributed basis is to be considered in priority to end-of-pipe infiltration.
- l) The stormwater management strategy outlined in the Cambridge West MESP is to be amended to ensure chlorides associated with urban development are directed away from the Blair-Bechtel-Cruickston ESL and to what is referred to as Stormwater Management Facility No. 2 located within the Phase 1 Community. The overall drainage and infiltration strategy for the Phase 2 Community is to ensure that “clean water” continues to be directed to environmental features and that the features and their functions are maintained as a result.
- m) Subdivision applications are to be supported by Chloride Impact Studies to ensure reasonable use criteria are not exceeded.



- n) All blocks that are subject to site plan approval are to be supported by a Salt Management Plan with implementation secured by conditions of development approval.
- o) Buildings within townhouse and multiple residential blocks that are adjacent to Core Environmental Features are to be designed in a manner that mitigates impacts on wildlife, natural features, functions and linkages through measures such as buffers, development setbacks and other practices including implementation of bird friendly guidelines.
- p) The design of subdivisions is to recognize and provide view-sheds to natural heritage features and associated tree canopy through the location of parks, consideration of single sided roads and a maximum building height within the community of 3.5 to 4 storeys to be implemented through zoning by-law amendments.
- q) Subdivision and site plan designs are to consider low impact development (LID) measures.

#### **2.6.13.5.7.2 Parks**

Park planning has considered the park system planned for the Westwood Village (Phase 1) Community and walkability gaps between planned parks and future residents have been identified. A park located central to the community will serve as a focal point for the Phase 2 Community and will complement the location of other parks that have been planned for the area. Parkettes in association with adjacent open space areas should also be considered given view, vista and passive recreation opportunities. Parks should be coordinated with the active transportation network and in a manner that connects to the overall park system planned for the Phase 1 and Phase 2 Communities.

The following park planning principles and policies apply to the Westwood Village (Phase 2) Community:

- a) An active park is to be located central to the community as conceptually shown on Map 2.1.2. The final location and configuration of this park is to be determined through the subdivision approval process and have regard to anticipated programming needs and park planning that has occurred within the Phase 1 Community.
- b) Subdivision design is to ensure residents of the community are connected to the central park by the sidewalk and walkway system.
- c) The design of the central park is to give consideration to active and passive recreational opportunities and ensure pedestrian connectivity between the eastern and western portions of the community.

- d) Design elements of the central park such as entry and identification features should be coordinated with the design of similar features planned for the Westwood Village (Phase 1) Community.
- e) The design of subdivisions and the design of the central park should consider Crime Prevention Through Environmental Design (CPTED) principles.
- f) Two parkettes should be located adjacent to open space features as conceptually shown on Map 2.1.2. The final location and configuration of the parkettes is to be determined through the plan of subdivision process.

#### **2.6.13.5.7.3 Walkability, Active Transportation and Road Network Design**

Planning for the Westwood Village (Phase 2) Community has addressed walkability, active transportation and road network design considerations. The road network is to be designed as a modified grid pattern and sidewalks are to be provided on both sides of all streets within the community. Pedestrian linkages should be provided through the proposed park as part of a series of walking “loops” within the community. Pedestrian crossings of proposed streets should be coordinated with traffic calming measures to provide a safe, pedestrian friendly walking environment.

The following principles and policies apply to the Westwood Village (Phase 2) Community:

- a) Streets and sidewalks are to connect to Newman Drive and align with streets that have been approved for the Westwood Village (Phase) 1 Community.
- b) The street and sidewalk system should be planned as a modified grid and as an extension of the street pattern approved for the Phase 1 Community. A conceptual street pattern is shown on Map 2.2.1 for illustration purposes only and the final location and detailed alignment of public streets and related sidewalks are to be determined through the plan of subdivision process.
- c) The design of the central park is to make provision for pedestrian movement through the park with connections to the sidewalk system as a means to encourage walkability, and to link the eastern and western portions of the community.
- d) Sidewalks are to be provided on both sides of all streets and are to connect to the active transportation network approved for the Phase 1 Community.
- e) Parks, walkways and sidewalks are to be designed to be AODA compliant.
- f) Traffic calming measures should be coordinated with pedestrian crossings associated with the central park and as a means to enhance pedestrian safety.

- g) Conditions of development approval are to require and ensure implementation of streetscape plans which are to coordinate utility design, boulevard planting, the location of driveways, on-street parking and minimize conflicts at pedestrian crossing locations.
- h) Amending zoning by-laws are to address streetscape considerations and minimize conflicts between vehicular parking, sidewalks and other pedestrian movements.

#### **2.6.13.7.7.4 Placemaking, Project Features and Amenities**

The public realm includes streets, parks, open space and associated views and vistas. A coordinated approach should be taken to ensure the public realm is both functional and attractive. Placemaking for the Phase 2 Community should build upon and be coordinated with the Westwood Village (Phase 1) Community and associated design features and guidelines to create a cohesive design aesthetic. Strong street edges are to be created through the design and placement of buildings.

The following principles and policies apply to the Westwood Village (Phase 2) Community:

- a) Approaches to placemaking project features and amenities are to be addressed by design guidelines to be prepared in support of plans of subdivision. Design guidelines are to be implemented through the design of plans of subdivision and conditions of development approval and considered in reviewing site plans for those blocks that are subject to site plan approval.
- b) Required design guidelines are to consider enhancing the public realm through the use of design elements such as landscaping, entrance features, lighting and signage with implementation required as conditions of development approval.

- c) The design of parks and public amenity spaces is to consider opportunities for passive and/or active recreation, social interaction and gathering.
- d) The design of streets within plans of subdivision should consider terminating views and vistas which could include enhanced architectural design, parks and open space.
- e) Design features and enhanced landscaping are to be considered at main entrances to the community and should be coordinated with the design of similar features planned for the Westwood Village (Phase 1) Community.
- f) Landscaping and design features associated with those blocks that are subject to site plan approval, should be coordinated with and be complementary to other design features planned for the community.
- g) Streetscape plans are to be approved prior to final approval of each stage within a subdivision to ensure well-coordinated and visually attractive streetscapes. Streetscape plans are to address boulevard planting, the location of driveways, on-street parking and pedestrian crossings and be implemented through conditions of development approval.
- h) Garage projections are to be minimized and amending zoning by-laws are to address setbacks from porches, landscaping and the width of garages relative to the width of front facades.

- i) Larger caliper trees are to be provided at major entrances to the community and consideration is to be given to decorative street lighting and signage to contribute to the amenity of entrances to the community.
- j) Consideration should be given to implementing wayfinding features to demarcate walkways, connections through parks and pedestrian crossings. The design of such features is to be coordinated with similar design features within the Westwood Village (Phase 1) Community and are to be implemented through conditions of development approval.
- k) Buffer planting plans are to be required for buffers associated with environmental features. The buffer planting plans are to include native/indigenous and where appropriate Carolinian species and are to be implemented through conditions of development approval.

#### **2.6.13.5.7.5 Sustainability**

The principles and policies for the Westwood Village (Phase 2) Community should consider sustainable design and development, built form and energy efficient measures. Green initiatives within the community are encouraged to assist in reducing impacts on the natural environment, addressing climate change and promoting sustainability initiatives.

The following sustainability principles and policies apply to the Westwood Village (Phase 2) Community.



- a) The Phase 2 Community is to be planned and designed to achieve a minimum density of 55 people and jobs per hectare with higher densities planned at the southern end of the community and adjacent to and/or in proximity of Newman Drive.
- b) Overland drainage is to be directed to Stormwater Management Pond No. 2 located within the Phase 1 Community, the Princess Street sewer and ultimately the Grand River in preference to directing chlorides to the Blair-Bechtel-Crickston ESL.
- c) Required design guidelines are to address environmentally responsible design and construction practices, walkability, active transportation and consider low impact development measures. Implementation is to be achieved through conditions of development approval.
- d) Blocks that are subject to site plan approval are to be planned and designed to reduce the use of salts and to this end, salt management plans are required in support of site plans and are to be implemented as conditions of development approval.
- e) Required design guidelines are to address sustainable design, development, built form and energy efficiencies. The design guidelines are to be considered in the design of plans of subdivision and site plans. Implementation is to be achieved through conditions of development approval.

- f) Site plan and/or condominium applications are to be supported by a sustainability statement that addresses sustainability measures outlined in required design guidelines. Sustainability statements should address matters such as water conservation, energy conservation, waste reduction, waste management, groundwater infiltration and salt management. Implementation is to be achieved through conditions of development approval.

#### **2.6.13.5.8 LAND USE POLICIES**

The Westwood Village (Phase 2) Community is designated as illustrated on Maps 2 and 2.1.2 of this Plan. Residential land use policies that have general applicability to the Westwood Village (Phase 2) Community are as follows:

- a) Residential and Open Space designations are as shown on Map 2.1.2. It is intended that there be some flexibility in interpreting the precise extent and delineation of the land use designation.
- b) Residential lands will be designated as Low, Low/Medium and Medium Density Residential.
- c) Higher density residential uses should be located in the southern portion of the community and adjacent to or within walking distance of Newman Drive in order to take advantage of the collector road network and the traffic capacity associated with realigned Blenheim Road.

- d) Lands within the Westwood Village (Phase 2) Community will be planned to achieve a minimum density of 55 people and jobs per hectare. Individual plans of subdivision may have densities lower than 55 people and jobs per hectare provided that the total density of all draft plans of subdivision within the community meet or exceed a density of 55 people and jobs per hectare.
- e) The Westwood Village (Phase 2) Community will be zoned to provide for a variety of housing types, lot sizes and lot widths.
- f) Secondary residential units are permitted within all residential designations and will be regulated by amending zoning by-laws.
- g) All residential land use categories will permit special needs housing. Community gardens and other compatible forms of urban agriculture may also be permitted in all residential zones.
- h) Ancillary uses such as parks, parkettes, community trails, places of worship, elementary schools, stormwater management facilities, home occupations and active transportation networks and facilities are permitted in all residential designations and will be regulated by amending zoning by-laws.

## **2.6.13.5.9 LAND USE DESIGNATIONS**

### **2.6.13.5.9.1 Low Density Residential**

The policy specific to the Low Density Residential land use designation is as follows:

- a) The Low Density Residential land use designation permits single detached and semi-detached dwellings. Density will be primarily regulated by minimum lot width and lot area requirements of the zoning by-law which will provide for variety in the size of lots. Home occupations are also permitted and will be regulated by the zoning by-law. The maximum building height is 2.5 storeys and will be regulated by the zoning by-law.

### **2.6.13.5.9.2 Low/Medium Density Residential**

The policy specific to the Low/Medium Density Residential land use designation is as follows:

- a) The Low/Medium Density Residential land use designation permits single detached, semi-detached and townhouse dwellings. Home occupations are also permitted and will be regulated by the zoning by-law. The maximum density is 50 units per hectare and the maximum building height is 3 storeys and will be regulated by the zoning by-law.

### **2.6.13.5.9.3 Medium Density Residential**

The policy specific to the Medium Density Residential land use designation is as follows:

- a) The Medium Density Residential land use designation permits townhouse, stacked townhouse, apartment, and other forms of multiple unit dwellings. Home occupations are also permitted and will be regulated by the zoning by-law. The maximum density is 100

units per hectare and the maximum building height is four storeys and will be regulated by the zoning by-law.

#### **2.6.13.5.9.4      Open Space**

Development within the Open Space designation will be prohibited and minor grading may be permitted subject to the approval of an Environmental Impact Study and in consideration of good engineering design principles and practices.

#### **2.6.13.5.10      SERVICING, TRANSPORTATION AND STAGING STRATEGY**

Development within the Westwood Village (Phase 1) Community will be serviced by municipal water and wastewater services that are to be extended through the Westwood Village (Phase 1) Community. The Cambridge West MESP identified an overall servicing strategy for the area which has been reflected in the Cambridge West Secondary Plan that has been approved for the Westwood Village (Phase 1) Community. The servicing strategy addresses sanitary and storm sewers, watermains, stormwater management, water quality, quantity, water temperature, water balance and environmental protection. A revision to the approved stormwater management strategy is required by this amendment to the effect that runoff associated with public roads is to be directed to Stormwater Facility No. 2 located within the Phase 1 Community to ensure chlorides are directed away from Core Environmental Features located within the Blair-Bechtel-Cruickston ESL.

The following servicing policies apply to the Westwood Village (Phase 1) Community:

- a) All development shall comply with the recommendations of the Cambridge West MESP with respect to servicing save and except for the stormwater management strategy which

is amended such that road runoff shall be directed to Stormwater Management Facility No. 2 located within the Phase 1 Community.

- b) Subdivision applications are to be supported by a Functional Servicing Report, a Water Servicing/Distribution Analysis, Environmental Impact Study, a preliminary Grading Plan, an Infiltration Strategy and a preliminary Stormwater Management Report.
- c) Sanitary services will connect to sanitary sewers to be provided within the Westwood Village (Phase 1) Community.
- d) Watermains will connect to watermains to be provided within the Westwood Village (Phase 1) Community.
- e) Functional Servicing Reports prepared in support of plans of subdivision are to confirm surface drainage and adequate capacity in the storm sewer system and within Stormwater Management Facility No. 2. Available capacity is to be confirmed prior to approval of draft plans of subdivision.
- f) An infiltration strategy is to be proposed and implemented to ensure pre-development infiltration rates across the development area within the Westwood Village (Phase 2) Community are maintained and where possible enhanced.

- g) An infiltration and grading strategy is to be implemented within the Westwood Village (Phase 2) Community and ensure existing surface water volumes and the hydroperiod of surface water inputs to adjacent Core Environmental Features are maintained in order to sustain the natural features and ecological functions of wetlands and water features.
- h) An infiltration strategy is to be implemented that ensures infiltration occurs within significant recharge areas identified in the Cambridge West MESP and to minimize any negative impacts of development adjacent to these areas.
- i) In order to ensure that infiltration targets are being realized following development, the Township will require groundwater levels to be monitored for a period of two years after the substantial completion of each subdivision development.
- j) Servicing and grading plans are to ensure urban runoff is not directed to Barrie's Lake.
- k) Chloride Impact Assessments will be required to support plans of subdivision to ensure chloride loading to groundwater is within provincially acceptable reasonable use concept water quality guidelines.
- l) Salt Management Plans are to be required for all blocks that are subject to site plan approval and to support site plan applications.



**2.6.13.5.11      INFRASTRUCTURE REQUIREMENTS AND STAGING CONSIDERATIONS**

The development of the Westwood Village (Phase 2) Community is dependent upon the extension of services and roads within the Westwood Village (Phase 1) Community. Table 1 and Figure 1 identify “off-site” infrastructure requirements for the development of the Westwood Village (Phase 2) Community.

<b>Table 1</b>	
<b>Off-site Infrastructure Requirements for the Development of the Westwood Village (Phase 2) Community</b>	
Sanitary Servicing	The Phase 2 Community requires the construction of a new trunk sewer extended within realigned Blenheim Road as well as with sewer extensions from realigned Blenheim Road to Bismark Drive and from Bismark Drive along Newman Drive
Water services	The Phase 2 Community requires water services to be extended from Grand Ridge Estates to realigned Blenheim Road and then to Bismark Drive and from Bismark Drive to the current terminus of Newman Drive.
Stormwater management (SWM)	The Phase 2 Community requires the construction of Stormwater Management

	Facility No. 2 located within the limits of Subdivision 30T-16103 together with required storm sewers and overland flow routes constructed to Newman Drive.
Roads	The Phase 2 Community requires the realignment of Blenheim Road, the construction of Bismark Drive from realigned Blenheim Road to existing Bismark Drive and the construction of Newman Drive from Bismark Drive to existing Newman Drive.

The following phasing/staging policies apply to the Westwood Village (Phase 2) Community:

- a) Infrastructure requirements for the Westwood Village (Phase 2) Community described in Table 1 and shown on Figure 1 are to be secured, prior to final approval (registration) of plans of subdivision.
- b) Individual draft plans of subdivision may be staged with staging to ensure (where appropriate) two means of access, appropriate servicing outlets and adequate water pressure are available.
- c) Plans of subdivision are to identify staging and reports prepared in support of plans of subdivision are to detail the rationale in support of staging.

#### **2.6.13.5.12 IMPLEMENTATION**

The general purpose of the Westwood Village (Phase 2) policies is to guide the detailed planning and development of the community. The approval of plans of subdivision, and other development applications, that are in conformity with the Westwood Village (Phase 2) policies will be the primary implementation mechanism. The Cambridge West MESP and associated technical studies also provide direction on implementation and all development shall be consistent with the management measures, recommendations and directions of the MESP and the amended stormwater management strategy.

##### **2.6.13.5.12.1 Future Development Applications**

- a) The review and approval of future draft plans of subdivision will be based on the policies that are applicable to the Westwood Village (Phase 2) Community and the Cambridge West MESP. Applications will be reviewed for conformity and consistency with these guiding documents. As part of future draft plan of subdivision applications, further detailed studies will be required. These may include:
  - Transportation impact studies;
  - Environmental impact studies;
  - Noise studies;
  - Detailed servicing design studies;
  - Detailed road design studies;

- Grading plans;
  - Detailed stormwater management studies; and
  - Design guidelines.
- b) The technical studies undertaken as part of the Cambridge MESP as amended will provide the basis for, and provide direction to studies required in support of development applications.

#### **2.6.13.5.12.2 Monitoring**

- a) In addition to 'pre-construction', during construction and post-development monitoring, biological, hydrological and groundwater monitoring programs should be prepared as part of supporting studies for future development applications. Key elements to address include, but are not limited to:
- Surface water levels and seasonal fluctuations in wetland/pond areas related to development applications.
  - Expression of groundwater discharge in wetlands within the vicinity of proposed development.
  - Monitoring of groundwater levels.
  - Annual biological monitoring is required throughout the monitoring phases and address the following components, or as otherwise required based on development

applications:

- Vegetation/flora (e.g., permanent plot monitoring);
  - Amphibians (e.g., MMP spring surveys, road/mortality);
  - Avifauna (e.g., breeding bird and migrant waterfowl);
  - Fisheries (e.g., trout spawning); and
  - Integrity and functioning of the buffer areas.
- Effectiveness monitoring for mitigation and enhancement measures (e.g., ensuring funnel walls, wildlife passage measures, plantings etc. are installed, in good health and/or functioning as intended).
- b) The monitoring approach will help to identify any issues of concern and recommend strategies to address problems in a timely manner. It is intended that Biological Monitoring Programs will be finalized as a condition of Draft Plan approval for subdivision applications.

#### **2.6.13.5.12.3 Stewardship**

The maintenance of the natural heritage features adjacent to the Westwood Village (Phase 2) Community will be accomplished primarily through the implementation of official plan policies, recommendations of the EIS prepared by WSP Canada Inc. (April, 2020), and the natural heritage strategy in the Cambridge West – MESP and recommendations relating to setbacks, linkages, and areas for ecological restoration. The ongoing maintenance and health of these areas will require appropriate actions and stewardship on the part of homeowners and residents. Public awareness

of the need for such stewardship is important and environmental education is a tool in achieving this objective.

#### **2.6.13.5.12.3.1 Homeowner Brochure**

A homeowner's brochure shall be provided as part of property sale documentation and made available at the sales trailer or at the Township and shall include information on the following:

- proper handling of yard waste and composting;
- potential impacts and control of fertilizers and herbicides / pesticides, de-icing salts, driveway and automotive cleaning residues and disposal of toxic substances in the storm sewer system;
- protection of soil and vegetation in the natural areas, including unauthorized trails and access in natural areas;
- explanation of the importance of saplings and native ground flora;
- pet implications and control; and
- invasive plant spread from yards.

#### **2.6.13.5.12.3.2 Signs**

Signs that identify the presence of 'sensitive natural areas' should be placed at regular intervals along core environmental feature limits and along public trails. Fences should also be located along the edge of urban development to limit access into natural heritage features. Signs should be used

to inform residents of limits to access and inform them of the locations of trails and other appropriate points of access.

#### **2.6.13.5.12.3.3 Contiguous Lands**

The Region of Waterloo, City of Cambridge, GRCA and the Township of North Dumfries continue to collaborate to implement the recommendations for the protection, stewardship, enhancement and monitoring of the Greenlands Network contiguous to the Westwood Village (Phase 2) Community.

#### **2.6.13.5.13 INTERPRETATION**

##### **2.6.13.5.12.1 Extent of Land Use Designations**

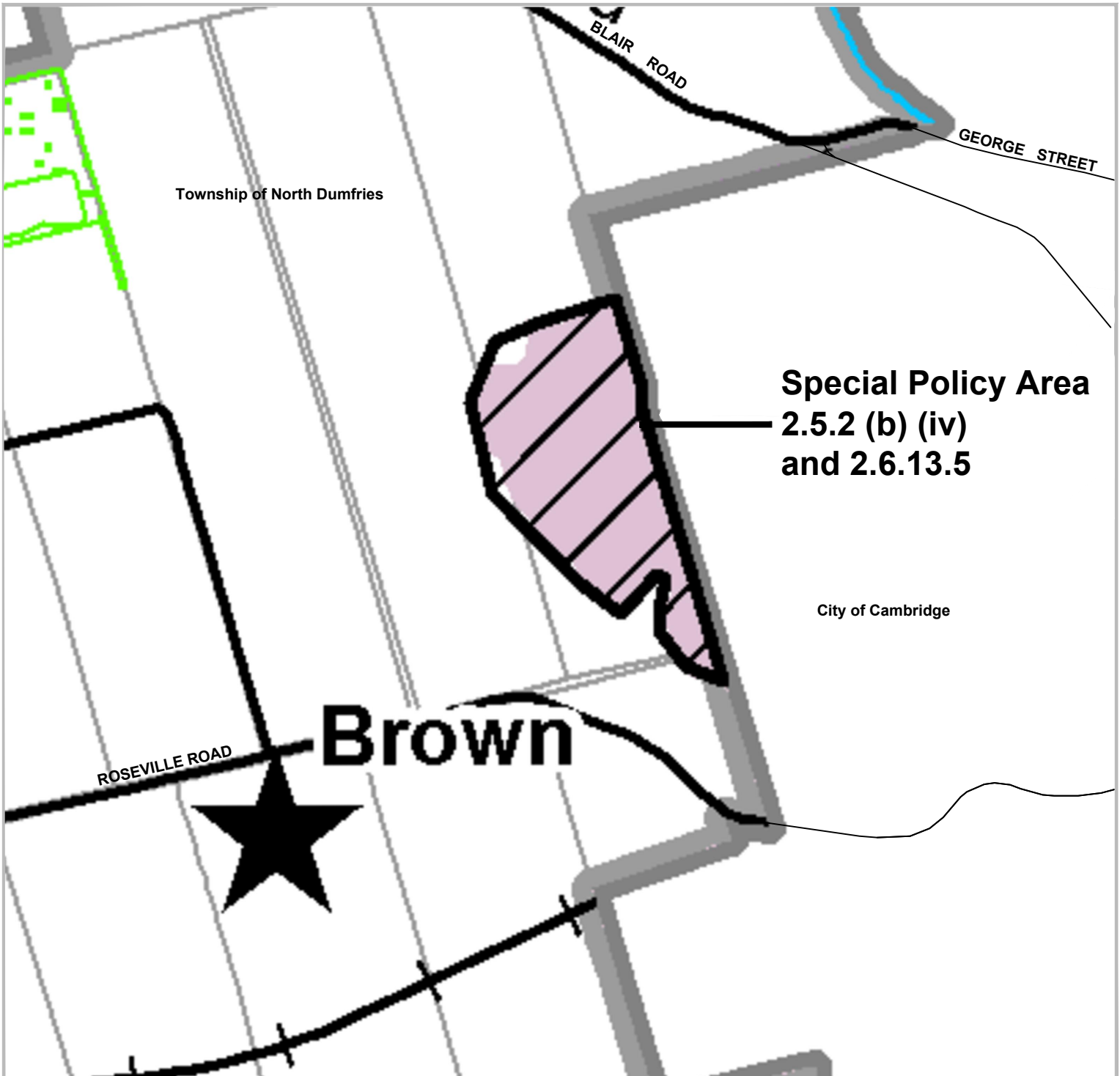
The boundaries of land use designations shown on Map 2.2.1 are approximate. Where the general intent of the Westwood Village (Phase 2) policy framework is maintained, minor adjustments to the extent of the land use designations will not require an official plan amendment.

##### **2.6.13.5.12.2 Roads and Parks/Parkettes**

The identification of roads, parks and parkettes is for illustration purposes only. The final design and alignment of roads and the location/configuration of parks/parkettes will be determined through the plan of subdivision process.



# Schedule 'B'



## Township of North Dumfries Official Plan Map 2 - Planned Township Structure

Hallman Construction Limited/  
Brian Domm  
Township of North Dumfries  
Region of Waterloo

### LEGEND

-  Westwood Village (Phase 2) Special Policy Area
-  Urban Area
-  Designated Greenfield Area
-  Rural Settlement Area
-  Countryside - Open Space

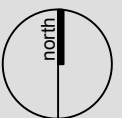
Base Map Source:  
Township of North Dumfries Official Plan Map 2 (Consolidation date: November 2018)

DATE: January 2021

FILE: 0800C

SCALE 1 : 15,000

DRAWN: DGS











The map illustrates a residential development layout. Key features include:

- Streets:** Roseville Rd, North Blenheim Rd, Bismark Dr, Wilkinson Ave, Princess Ave, Street A, Street B, Street C, Street D, Street E, Street F, Hala Ct, Rosecliff Pl, Rosecliff Ct, Hawthorne Rd, Ronald Rd, Lindale Rd, Butternut Ct, Grassfield Ct, Tree Ridge Ct, and Devil's Creek Dr.
- Landmarks:** A large green area on the left, a yellow area in the center, a red area on the right, a school, and several parks.
- Water Features:** Chickston Creek and a creek at the bottom right.
- Infrastructure:** A large green arrow pointing from the yellow area towards the top right, and a large green arrow pointing from the bottom left towards the top right.

**Hallman Construction Limited/  
Brian Domm**  
Township of North Dumfries  
Region of Waterloo

## LEGEND

-  Area of Amendment
-  Low Density Residential
-  Low/Medium Density Residential
-  Medium Density Residential
-  Open Space
-  Environmental Corridor
-  Major Collector Road
-  Gateways

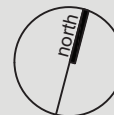
-  Park
-  Parkettes
-  2-minute Walk (200m radius)
-  5-minute Walk (500m radius)

**DATE:** January 2021

**FILE:** 0800C

SCALE NTS

DRAWN: CH



The identification of roads, parks and parkettes is for illustration purposes only. The final design and alignment of roads and the location/-configuration of parks/parkettes will be determined through the plan of subdivision process.

## Appendix F

**THE CORPORATION OF THE TOWNSHIP OF NORTH DUMFRIES**  
**BY-LAW NUMBER XXXX-XX**

**BEING A BY-LAW TO FURTHER AMEND GENERAL ZONING BY-LAW NUMBER 689-83, AS AMENDED,  
FOR THE TOWNSHIP OF NORTH DUMFRIES**

WHEREAS an application for a Draft Plan of Subdivision (File No. XXXXXX) was received from MHBC Planning Ltd., with respect to lands described as Part of Lots 13 and 14, Concession 11 and Part of Road Allowance between Concessions 11 and 12, Township of North Dumfries, Regional Municipality of Waterloo, and, assigned with a civic address of Township Road 1 West and 1024 Roseville Road;

AND WHEREAS it is necessary to amend General Zoning By-law Number 689-83 to implement the hierarchy of land use activities as identified within the Draft Plan of Subdivision to permit Residential, Open Space and Environmental Protection uses;

AND WHEREAS, an application (File No. XXXX) was received to amend General Zoning By-law 689-83 to permit a range of residential (One Unit, ROW, ROW – Private Road, Stacked Townhouse, and Apartment), open space and environmental protection uses;

AND WHEREAS the Planning Act empowers a municipality to pass by-laws prohibiting the use of land and the erection, location and use of buildings or structures, except as set out in the bylaw;

AND WHEREAS the Council of The Corporation of the Township of North Dumfries, under Section 34 of the Planning Act, R.S.O. 1990, c. P 13, deems it to be desirable to further amend said General Zoning By-law Number 689-83 for the future development and use of the lands described above;

NOW THEREFORE the Council of The Corporation of the Township of North Dumfries enacts as follows:

1. THAT General Zoning By-law Number 689-83, as amended, is hereby further amended insofar as the zoning on these lands, described as Part of Lots 13 and 14, Concession 11 and Part of Road Allowance between Concessions 11 and 12, Township of North Dumfries, is changed from the present Agriculture Zone (Z.1) to the Residential Zone (Z.4d), the Open Space Zone (Z.12) and the Environmental Protection One Zone (EP1) to implement Plan of Subdivision 30T-XXXX by permitting residential, open space and environmental protection related uses;
2. THAT Section 20.1 of General Zoning By-law No. 689-83 is hereby further amended with the addition of a new Subsection immediately following 20.1.326 as follows:

"20.1.XXX      Westwood Village (Phase 2) Community

1. That "arboretum" and "farming" be prohibited within the lands Zoned Z.12 (Open Space);

2. Notwithstanding any other provisions of this By-law to the contrary, for the lands zoned Z.4d located within Subdivision File 30T-XXXXX, the following provision shall apply, as specified herein:

ZONE STANDARDS – Residential Building (One Unit) “Single Detached Dwelling”		Z.4d – Special Exception 20.1.xxx
Minimum Lot Area	m <sup>2</sup>	255
Minimum Lot Area (corner lot)	m <sup>2</sup>	285
Minimum Lot Width		
a) Interior Lot	m	9.0
b) Corner Lot	m	11.6
Minimum Front Yard	m	6.0
Minimum Side Yard (each side <sup>1</sup> )		
a) Interior	m	1.2
b) Exterior	m	2.4
Minimum Rear Yard	m	7.5
Maximum Building Height	m	12
Minimum Gross Floor Area	m <sup>2</sup>	75
Parking	spaces	1 space for the first 4 bedrooms in the <i>dwelling unit</i> plus 1 space for each additional 2 bedrooms

<sup>1</sup> Minimum interior side yard may be reduced on one side of a Residential Building (One Unit) to 0.6 m where no doors, windows or other openings are provided on that side of the building.

<sup>2</sup> Notwithstanding anything in By-law 689-83 to the contrary, a Residential Building (One Unit) may front onto a private road within the lands identified on the attached Schedule as “Lands to be Rezoned from Zone 1 (Z.1) Agriculture to Zone 4d (Z.4d) Urban Residential with Special Exception 20.1.xxx to allow for Single Detached Condominium Units”. The Zone Standards in Exception 20.1.xxx that would apply to a Residential Building (One Unit) fronting on a public road shall apply. For the purposes of clarity and for applying Zone Standards, a Vacant Land Unit shall have the same meaning as a ‘Lot.’ A maximum of 21 single detached dwellings may be permitted within the lands identified as “Lands to be Rezoned from Zone 1 (Z.1) Agriculture to Zone 4d (Z.4d) Urban Residential with Special Exception 20.1.xxx to allow for Single Detached Condominium Units” provided that a Plan or Plans of condominium are registered on all or a portion of the lot or block which is part of a comprehensively planned development.

<b>ZONE STANDARDS – Residential Building (ROW) “Freehold Townhouse”</b>		<i>Z.4d – Special Exception 20.1.xxx</i>
Minimum <i>Lot Area</i>	m <sup>2</sup>	165
Minimum Lot Area (Corner)	m <sup>2</sup>	255
Minimum <i>Lot Width</i>		
a) Interior <i>Lot</i>	m	5.5
b) Corner <i>Lot</i>	m	8.5
Minimum Front Yard	m	6.0
Minimum Side Yard		
a) Exterior	m	1.2
b) Corner	m	3.0
Minimum Rear Yard	m	7.5
Maximum Building Height	m	12
Minimum Gross Floor Area	m <sup>2</sup>	70
Maximum Number of Attached Units	units	8
Parking	spaces	1 space for the first 4 bedrooms per <i>dwelling unit</i> ; plus 1 space for each additional 2 bedrooms;

<b>ZONE STANDARDS – Residential Building (ROW – Private Road<sup>1</sup>) “Cluster Townhouse” and (Stacked Townhouse<sup>2</sup>)</b>		<i>Z.4d – Special Exception 20.1.xxx</i>
Maximum Density	units/ha	100
Minimum <i>Lot Width</i>	m	20
Minimum Front Yard	m	6
Minimum Side Yard	m	3

Minimum Separation between buildings (side wall to side wall)	m	3
Minimum Separation between buildings (front wall to rear wall)	m	6
Minimum Separation between buildings (front wall to front wall)	m	6
Minimum Separation between buildings (rear wall to rear wall)	m	6
Minimum Separation between buildings (front or rear wall to side wall)	m	6
Minimum Rear Yard	m	7.5
Maximum Building Height	m	15 (or 4 storeys)
Minimum Landscape Area	% of lot area	30
Parking (ROW) – Private Road	spaces	1 space for the first 4 bedrooms per <i>dwelling unit</i> ; plus 1 space for each additional 2 Bedrooms; plus 1 space for each 2 <i>dwelling units</i> for visitors only <sup>3</sup>
Parking – Stacked Townhouse	spaces	1 space per <i>dwelling unit</i> ; plus 1 space for each 4 <i>dwelling units</i> for visitors only
<p><sup>1</sup> A Residential Building (ROW – Private Road) shall be defined as ‘a Residential Building containing three (3) or more dwelling units, each of which faces onto a private internal road or driveway, and each of which has a separate entrance at grade level and is separated from its neighbour by a continuous vertical party wall without opening and extending from the base of the foundation to the roof.</p> <p><sup>2</sup> A Residential Building (Stacked Townhouse) shall be defined as ‘a Residential Building containing four (4) or more units, which are horizontally and vertically separated in a split level or stacked manner, where each dwelling unit egresses directly outside to grade and where no egress is provided from the dwelling unit to a common corridor.</p>		



<sup>3</sup> Notwithstanding anything to the contrary, every four *tandem parking* spaces located in a Residential Building (ROW – Private Road) development in the Z.4d – Special Exception 20.1.xxx zone shall be deemed to equal one visitor parking space required, provided that there must be a minimum of 1 visitor parking spaces for each 4 *dwelling units* and such spaces shall be identified as being reserved for the exclusive use of such visitors.

ZONE STANDARDS – Residential Building (Apartment)		Z.4d – Special Exception 20.1.xxx
Minimum <i>Lot Frontage</i>	m	30
Maximum Density (units/ha)		100
Minimum Front Yard	m	6
Minimum Interior Side Yard	m	3 for the first two storeys plus 1.5 metres for each additional storey to a maximum of 12 metres
Minimum Exterior Side Yard	m	6
Minimum Rear Yard	m	7.5
Minimum Distance Between Buildings	m	6
Minimum gross floor area per dwelling unit	m <sup>2</sup>	50
Maximum Building Height	m	15 (or 4 storeys)
Minimum Landscape Area	% of lot area	30
Minimum Amenity Area per dwelling unit	m <sup>2</sup>	5
Parking	spaces	1 space per <i>dwelling unit</i> ; plus 1 space for each 4 <i>dwelling units</i> for visitors only
Minimum separation between a parking aisle and a habitable room or window	m	3
<sup>1</sup> Notwithstanding anything to the contrary, parking may be provided within a driveway, garage or as surface parking for visitors.		

General Provisions	
Permitted Encroachments – <i>Bay Window</i>	1m for a 4m wide window up to 2 storeys with or without a foundation
Permitted Encroachments – open or covered unenclosed porches, patios, decks not exceeding 3m in height and/or a fruit cellar under an open or covered unenclosed porch	1.5m into the required <i>front yard</i> on an <i>interior lot</i> and 1.5m into the minimum required <i>front</i> and <i>exterior side yards</i> on a <i>corner lot</i> 2.5m into the minimum <i>rear yard</i> including eaves and cornices
Setback of <i>Access Driveway</i> from the Intersection of Two <i>Street Lines</i>	6.0m
A private garage may only project beyond the façade of the dwelling unit to a maximum of 1.8 metres	
Where a private garage projects beyond the façade of the dwelling unit, a porch abutting a private garage shall be provided and the minimum depth of the porch shall be 1.5 metres	
A private garage shall not project beyond the front of a porch	
A driveway located between the front façade of a dwelling unit and the street shall be located no closer to a side lot line than 0.6 metres and the related area of the lot shall not be paved with a hard surface and will be comprised of soft landscaping.	
Where more than one parking space is required, one parking space may locate on the driveway within 6 metres of the front lot line or exterior side lot line and those parking spaces may be tandem parking spaces.	
<p>The following regulations shall apply to Residential Building (One Unit), Residential Building (ROW), Residential Building (ROW – Private Road)<sup>1</sup> and Residential Building (Stacked Townhouse):</p> <ul style="list-style-type: none"> <li>a) Unless the garage is located in the rear yard, the maximum width of garage, measured from outside walls shall be 50% of the lot width; <sup>1</sup> save and except for the maximum width of garage for a Residential Building (ROW – Private Road) measured from the outside walls shall be 55% of the building façade.</li> <li>b) A driveway and its widening shall not exceed 50% of the lot width, or 8 metres, whichever is lesser, and in no case shall the width of the driveway and its widening exceed 6.0 metres within 3.0 metres of a street line;</li> <li>c) A maximum of one driveway with one access point from each street or lane shall be permitted on a lot,</li> <li>d) A driveway shall have a minimum width of 2.6 metres.</li> </ul>	

For those lands zoned Z.4d to permit either an "Apartment" or a "Stacked Townhouse", the following additional regulations shall apply:

- a) One bicycle parking stall shall be provided for each 10 residential units
- b) b) Bicycle stalls shall have a minimum length of 1.8 m and a minimum width of 0.6 m

3. THAT notwithstanding the provisions of sections 6.39 of this by-law to the contrary, the following regulations shall apply to Secondary Dwelling Units within a Single Detached, Semi-detached or townhouse dwelling:
  - a. A maximum of one (1) Secondary Dwelling Unit is permitted on a lot. In the case of a condominium unit, one (1) Secondary Dwelling Unit shall be permitted per condominium unit;
  - b. If the Secondary Dwelling Unit is located within an accessory building, the accessory building shall have a maximum building coverage of 10%;
  - c. The Secondary Dwelling Unit shall not exceed 40% of the Gross Floor Area of the principal dwelling unit or 110 m<sup>2</sup>, whichever is more restrictive;
  - d. One (1) parking space shall be required for a Secondary Dwelling Unit in addition to any parking spaces required for the primary residential dwelling unit. A tandem parking space may satisfy the parking requirement for a Secondary Dwelling Unit. Parking for a Secondary Dwelling Unit shall not be located within a required rear yard.
  - e. A separate entrance and exit to the Secondary Dwelling Unit shall be oriented towards the exterior side lot line, interior side lot line or rear lot line; and,
  - f. The Secondary Dwelling Unit shall meet applicable zoning, and the lot shall comply with all other provisions of the By-law.
4. THAT except as amended by this By-law, the subject lands as shown on Schedule A to this By-law and Section 20.1. **xxx** to this By-law shall be subject to all other applicable provisions and regulations of General Zoning By-law 689-83, as amended;
5. AND THAT Schedules A attached form part of By-law **XXXX-XXX**;
6. AND THAT this By-law shall come into force and effect on the final passing thereof by the Council of The Corporation of the Township of North Dumfries subject to compliance with the provisions of the Planning Act.

READ a First and Second Time in the Council Chambers (virtual) of the Township of North Dumfries this **XX**th day of **XXX** 2021.

---

Mayor

---

Clerk

READ a third time and Finally Passed in the Council Chambers (virtual) of the Township of North Dumfries this **XX**th day of **XXX** 2021.

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Mayor

---

Clerk

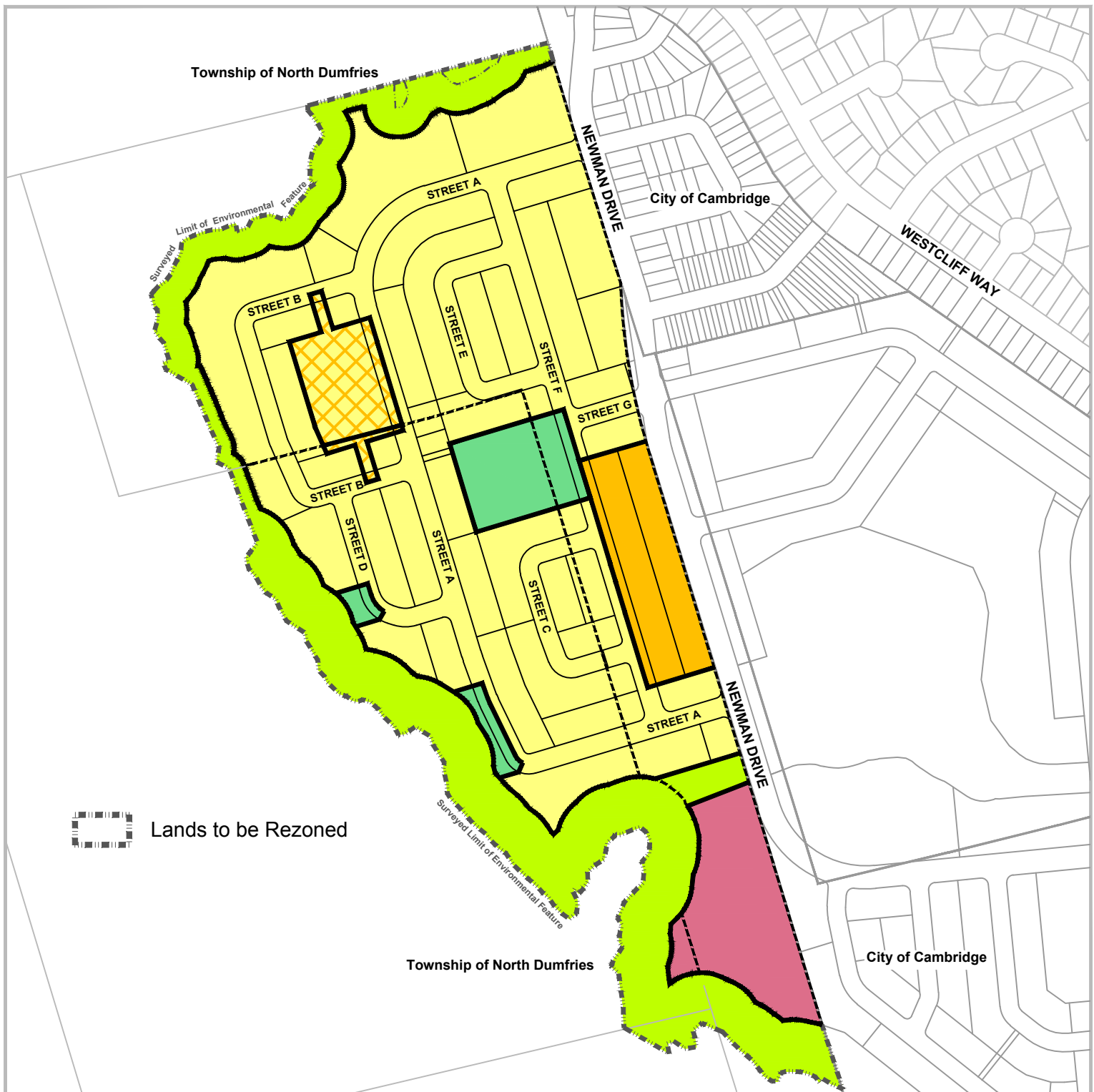








Figure 9  
**Proposed  
Zoning Schedule**

**Hallman  
Construction Limited/  
Brian Domm**  
Township of North Dumfries  
Region of Waterloo

-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Residential Zone 4d (Z.4d) with Special Exception 20.1.xxx to permit Residential Building (One Unit) 'Single Detached Dwelling'
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Residential Zone 4d (Z.4d) with Special Exception 20.1.xxx to permit Residential Building (ROW) 'Freehold Townhouse'
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Residential Zone 4d (Z.4d) with Special Exception 20.1.xxx to permit Residential Building (One Unit) 'Single Detached Dwelling'
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Residential Zone 4d (Z.4d) with Special Exception 20.1.xxx to permit Residential Building (ROW - Private Road) 'Cluster Townhouse', Residential Building (Stacked Townhouse) and Residential Building (Apartment)
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Open Space Zone 12 (Z.12) with Special Exception 20.1.xxx

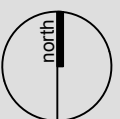
-  Lands to be Rezoned from Agriculture Zone 1 (Z.1) to Environmental Protection One (EP1) Zone 12A (Z.12A)

**DATE:** February 2021

**FILE:** 0800C

**SCALE:** NTS

**DRAWN:** DGS



## Appendix G



## Zoning By-law Amendment

Hallman  
Construction Limited  
City of Cambridge  
Region of Waterloo

### Legend



Lands Subject to Amendment



Lands to be Rezoned from R6  
to RM3/RM4

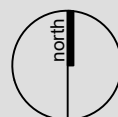
Base Map Source: City of Cambridge Interactive Zoning Map

DATE: January 27, 2021

FILE: 0800A

SCALE: NTS

DRAWN: DGS



K:\0800A-CAMBRIDGE WEST COMMUNITY\RP\TIZONING BY-LAW AMENDMENT  
HALLMAN JANUARY 27 2021.DWG