

#### **EXISTING FEATURES NOTES**

**GENERAL SITE PLAN INFORMATION** 

1. THIS SITE PLAN CONSIST OF 5 DRAWINGS AND MUST BE READ COLLECTIVELY.

2. ALL MEASUREMENTS SHOWN ON THIS SITE PLAN ARE IN METRES.

3. THIS SITE PLAN IS PREPARED FOR SUBMISSION TO THE MINISTRY OF NATURAL RESOURCES UNDER THE AGGREGATE RESOURCES ACT FOR A CLASS 'A' LICENCE, PIT ABOVE THE WATER TABLE.

#### LICENCE INFORMATION

4. APPLICANT 3003 PAGE STREET LONDON, ONTARIO N5V 4J1 5. TOTAL AREA TO BE LICENCED:

TOTAL AREA TO BE EXTRACTED: TOTAL AREA TO REHABILITATED: 29.9 ha

#### BASE INFORMATION

- 6. TOPOGRAPHIC INFORMATION WAS OBTAINED FROM FROM TOPOGRAPHIC SURVEY PROVIDED VERICON GEOMATICS LTD., DATED APRIL 29, 2024
- THE SITE WAS FIELD CHECKED BY HARRINGTON MCAVAN LTD., OCTOBER 11, 2024
- REGULATED AREA BOUNDARY OBTAINED FROM GRCA NOVEMBER 2024
- SIGNIFICANT FEATURE BOUNDARIES OBTAINED FROM NATURAL ENVIRONMENT REPORT BY MTE, DATED APRIL 2025.
- 7. ZONING INFORMATION OBTAINED FROM TOWNSHIP OF NORTH DUMFRIES ZONING BY-LAW 2019. PROPERTY IS CURRENTLY ZONED 1(AGRICULTURE). A ZBA WILL BE APPLIED FOR TO CHANGE A TO Z14 (MINERAL AGGREGATES).

#### **HYDROGEOLOGICAL INFORMATION**

THIS SITE (REFER TO HYDROGEOLOGICAL REPORT).

- 8. HYDROGEOLOGICAL INFORMATION INCLUDING GROUNDWATER ELEVATION WAS OBTAINED FROM REPORT BY STONECAIRN CONSULTING DATED JULY 2025.
- 9. THE WATER TABLE ELEVATION VARIES ACROSS THE PROPERTY BETWEEN 288.29 - 295.00 m ABOVE SEA LEVEL (A.S.L.).
- 10. THE SITE IS LOCATED WITHIN THE GRAND RIVER SOURCE WATER PROTECTION AREA. IT IS LOCATED WITHIN A SIGNIFICANT GROUNDWATER RECHARGE AREA WITH A NO RATING/SCORE AND IS PARTIALLY WITHIN A WELLHEAD PROTECTION AREA. IT IS LOCATED WITHIN A HIGHLY

#### TECHNICAL REPORTS

11. HYDROGEOLOGICAL INFORMATION WAS OBTAINED FROM REPORT BY STONECAIRN CONSULTING DATED JULY 2025 (REFER TO SHEET 3 OF 5 FOR TECHNICAL RECOMMENDATIONS).

VULNERABLE AQUIFIER ZONE. SOURCE WATER PROTECTION POLICIES DO NO NOT APPLY TO

- 12. NATURAL ENVIRONMENT INFORMATION WAS OBTAINED FROM REPORT BY MTE DATED JULY 2025 (REFER TO SHEET 3 OF 5 FOR TECHNICAL RECOMMENDATIONS).
- 13. ARCHAEOLOGICAL INFORMATION WAS OBTAINED FROM REPORT BY LINCOLN ENVIRONMENTAL CONSULTING DATED NOVEMBER 2023.
- 14. ACOUSTIC INFORMATION WAS OBTAINED FROM REPORT BY HGC DATED AUGUST 11, 2025 (REFER TO SHEET 3 OF 5 FOR TECHNICAL RECOMMENDATIONS).

# **LEGEND** EXISTING 5m ASL CONTOUR EXISTING 1m ASL CONTOUR EXISTING SPOT ELEVATION

**EXISTING VEGETATION** EXISTING WETLAND



**BUILDING LIST** 

No.	
1.	BARN
2.	BARN
3.	BARN
4.	BARN
5.	BARN
6.	FIREHALL
7.	SHED
8.	ONE STOREY HOUSE
9.	SCALE HOUSE

BOUNDARY OF PROPOSED LICENCE **BOUNDARY OF EXISTING LICENCED AREA** 120m INFORMATION BOUNDARY

PROPERTY LINES GRCA REGULATED AREA LINE

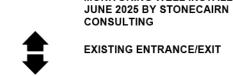
PROVINCIALLY SIGNIFICANT WETLAND BOUNDARY PER MNR MAPPING SIGNIFICANT WOODLAND BOUNDARY MAPPED BY MTE

> EXISTING BUILDING AND NUMBER

EXISTING HYDRO POLE DIRECTION OF SURFACE

WATER DRAINAGE MW101 BOREHOLE LOCATION AND NUMBER DRILLED AND MONITORING WELL

INSTALLED APRIL 26, 2023 BY LDS. BH203 BOREHOLE LOCATION AND NUMBER DRILLED AND MONITORING WELL INSTALLE

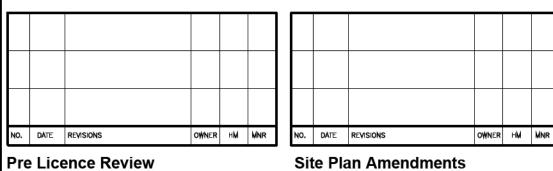


EXISTING GATED

ENTRANCE/EXIT

**COORDINATES** LOCATION NORTHING EASTING 4793053.09 546057.38 SW 4792936.12 545564.88 NW 4793701.10 545344.72 NE 4793814.63 545824.29

ENTRANCE 4793053.00 546056.06



Site Plan Amendments



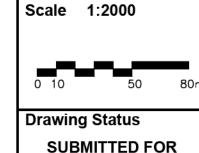
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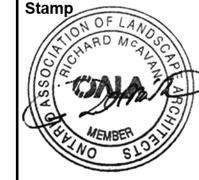
**JEDBURGH PLAINS** LICENSEE SIGNATURE:

LICENCE No. PART LOT 32, CONCESSION 8

TOWNSHIP OF NORTH DUMFRIES (FORMER TOWNSHIP OF DUMFRIES) **REGIONAL MUNICIPALITY OF WATERLOO** 



LICENCE APPROVAL



Checked RM Drawn SB

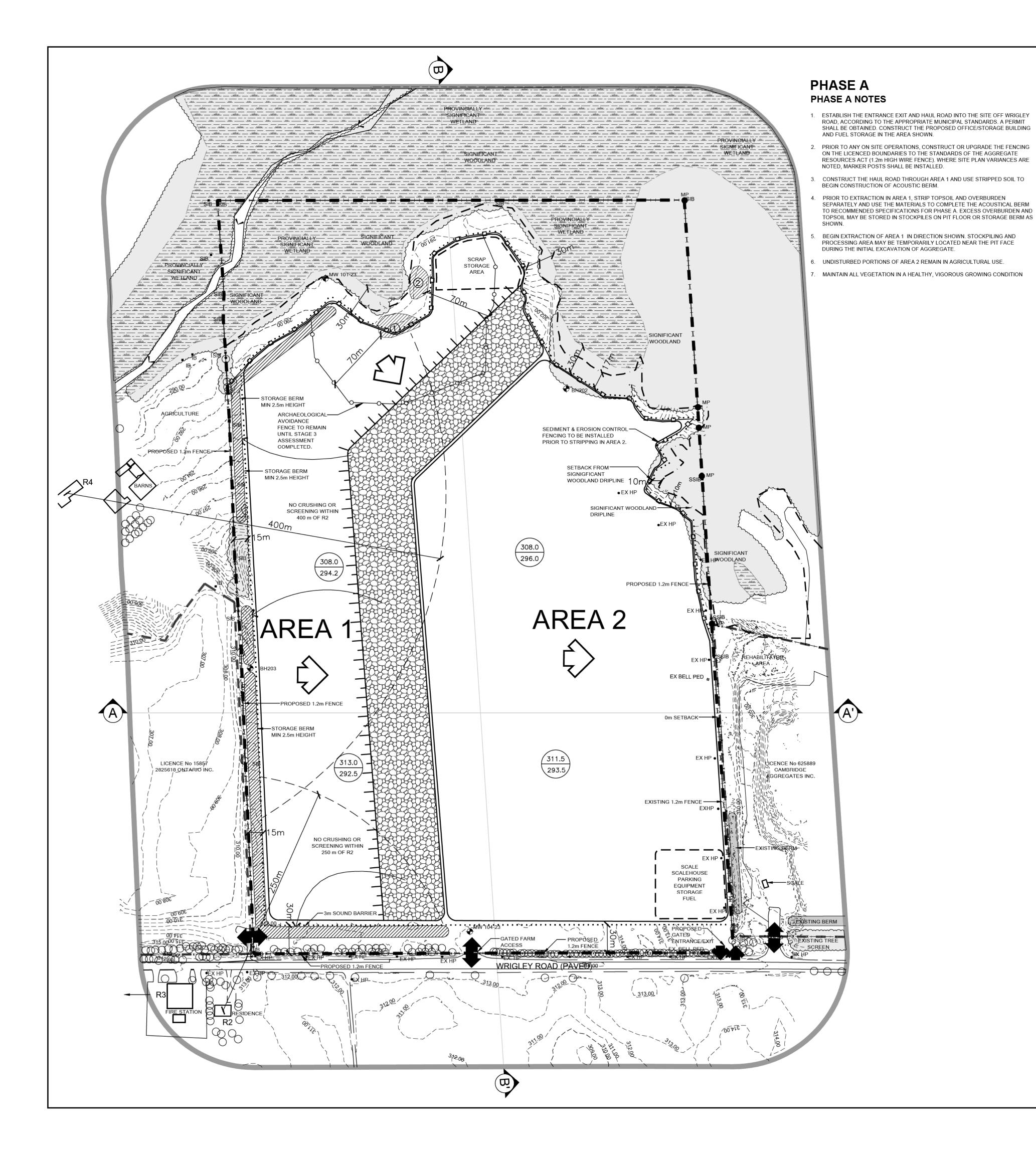
Drawing Title

Project Number 23-20

**Drawing Number** 

Issue Date SEPT 2025

**EXISTING FEATURES PLAN** 



#### **OPERATIONS NOTES**

THIS PLAN DEPICTS A SCHEMATIC OPERATIONS AND REHABILITATION SEQUENCE FOR THIS PROPERTY BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION. PHASES SHOWN ARE SCHEMATIC AND WILL BE OPERATED ACCORDING TO MATERIAL QUALITY. SITE HYDROLOGY AND HYDROGEOLOGY OR MARKET DEMAND. PHASES DO NOT REPRESENT ANY SPECIFIC OR EQUAL TIME

EXTRACTION SHALL FOLLOW THE SEQUENCE SHOWN. WHEN PARTIAL REHABILITATION OF A PHASE IS POSSIBLE IT SHALL BE CARRIED OUT.

2. SITE PLAN VARIANCES ARE LISTED IN THE SITE PLAN OVERRIDE TABLE SHOWN ON THIS PAGE.

EXTRACTION/PROCESSING/HAULING INFORMATION TOTAL AREA TO BE EXTRACTED IS 29.9 HECTARES.

4. a) MAXIMUM NUMBER OF TONNES OF AGGREGATE TO BE REMOVED FROM THE SITE IN ANY CALENDAR YEAR IS 1,000,000 TONNES.

b) EXTRACTION OF SAND AND GRAVEL ABOVE WATER TABLE WILL TAKE PLACE IN THREE LIFTS, WITH A MAXIMUM HEIGHT OF 7 METRES AND WILL COMPLY WITH OHSA REGULATIONS REGARDING FACE HEIGHTS. THE MAXIMUM GROUNDWATER TABLE VARIES ACROSS THE SITE FROM 288.29 - 295.00 ASL. FRONT END LOADERS WILL BE USED TO EXTRACT MATERIAL AND HAUL TRUCKS OR CONVEYORS WILL CARRY MATERIAL TO THE PLANT FOR FURTHER PROCESSING. REFER TO SECTIONS A-A' AND B-B' ON DRAWING 4 OF 5 FOR

c) PORTABLE PROCESSING EQUIPMENT, FOR CRUSHING AND SCREENING WILL BE USED ON SITE AND WILL BE LOCATED ON THE PIT FLOOR CLOSE TO THE FACE. IN ADDITION TO PROCESSING. SITE ACTIVITIES WILL INCLUDE STRIPPING AND REHABILITATION. OPERATIONAL EQUIPMENT MAY INCLUDE TRUCKS, LOADERS, EXCAVATOR, BACKHOES, BULLDOZERS, SCRAPERS, CONVEYORS, AND OTHER RELATED EQUIPMENT. PROCESSING EQUIPMENT, STACKERS AND PRODUCT STOCKPILES WILL NOT EXCEED ±15 METRES IN HEIGHT AND WILL BE LOCATED IN THE AREAS SHOWN AND/OR CLOSE TO PIT FACES.

#### d) HAUL ROADS SHALL BE DEVELOPED AS REQUIRED.

STORED ON-SITE AT ANY ONE TIME WILL NOT EXCEED 25,000 M3.

e) MATERIAL FROM OTHER PROPERTIES MAY BE IMPORTED INTO THE SITE FOR BLENDING, CUSTOM PRODUCTS AND/OR RESALE. THIS MAY INCLUDE AGGREGATE AND/OR PEAT AND TOPSOIL.

- i) EXCESS SOIL SHALL ONLY BE IMPORTED FOR BLENDING, RESALE AND/OR TEMPORARY STORAGE ON-SITE IN ACCORDANCE WITH ONTARIO REGULATION 244/97 UNDER THE AGGREGATE RESOURCES ACT. ii) LIQUID SOIL, AS DEFINED IN ONTARIO REGULATION 406/19 UNDER THE ENVIRONMENTAL
- PROTECTION ACT, IS NOT AUTHORIZED FOR IMPORTATION TO THE SITE iii) THERE SHALL BE NO FURTHER IMPORTATION OF EXCESS SOIL FOR BLENDING, RESALE, AND/OR TEMPORARY STORAGE ONCE EXCAVATION ON-SITE HAS BEEN COMPLETED. iv) THE TOTAL AMOUNT OF EXCESS SOIL BROUGHT ONTO THE SITE ANNUALLY AND THE TOTAL AMOUNT
- 5. OFFICE/STORAGE BUILDING AND/OR SCALE/SCALEHOUSE MAY BE CONSTRUCTED WHERE SHOWN. TEMPORARY STORAGE BUILDINGS/TRAILERS MAY BE LOCATED ON SITE AS REQUIRED. ALL BUILDINGS WILL BE REMOVED UPON FINAL REHABILITATION.
- 6. EQUIPMENT, SCRAP AND MACHINERY ASSOCIATED WITH THE EXTRACTION OPERATIONS WILL BE REMOVED UPON COMPLETION OF EXTRACTION.
- THE WATER TABLE ELEVATION VARIES ACROSS THIS LICENCE FROM APPROXIMATELY 288.29 295.00 m
- ABOVE SEA LEVEL (A.S.L.). REFER TO SECTIONS ON SHEET 4 OF 5.
- 8. SURFACE DRAINAGE WILL BE DIRECTED TO LOW AREAS FOR WATER TO INFILTRATE INTO THE GRANULAR MATERIALS ON THE PIT FLOOR. THERE WILL BE NO OFF-SITE DITCHING/ DISCHARGE.

#### NOISE MITIGATION INFORMATION HOURS OF OPERATION:

EXCAVATION AND PROCESSING

SITE PREPARATION AND REHABILITATION: 07:00-19:00 WEEKDAYS; 07:00 - NOON SATURDAYS 07:00-19:00 WEEKDAYS; 07:00 - NOON SATURDAYS 07:00-19:00 WEEKDAYS; 07:00 - NOON SATURDAYS

AIR QUALITY INFORMATION

0. WATER OR CALCIUM CHLORIDE WILL BE APPLIED TO INTERNAL HAUL ROADS AND PROCESSING AREAS AS OFTEN AS REQUIRED TO MITIGATE DUST.

#### SITE MANAGEMENT INFORMATION

MAINTENANCE/ PROTECTION OF VEGETATION INFORMATION 1. EXISTING VEGETATION WITHIN THE LICENCED AREA SHALL BE MAINTAINED IN A HEALTHY VIGOROUS GROWING CONDITION UNTIL SEQUENTIAL STRIPPING BEGINS OR UNTIL THE REHABILITATION IS COMPLETE. ANY VEGETATION PLANTED AS PART OF SITE IMPROVEMENTS OR PROGRESSIVE AND FINAL REHABILITATION WILL ALSO BE MAINTAINED IN A HEALTHY, VIGOROUS GROWING CONDITION. NO TREE SCREENS ARE

#### BOUNDARIES OF THE AREA TO BE LICENCED THAT ARE PRESENTLY FENCED ARE SHOWN ON DRAWING 1 OF 5, EXISTING FEATURES. UNFENCED BOUNDARIES SHALL BE DEMARCATED WITH HIGHLY VISIBLE MARKER

#### POSTS AT INTERVISIBLE INTERVALS. ALL FENCING/MARKER POSTS SHALL BE MAINTAINED. TOPSOIL/SUBSOIL/OVERBURDEN STORAGE INFORMATION

3. TOPSOIL AND OVERBURDEN SHALL BE STRIPPED AND STORED SEPARATELY IN BERMS WHERE SHOWN AND

# IN STOCKPILES ON THE PIT FLOOR.

14. BERMS SHALL BE A MINIMUM OF ±2.5 METRES ABOVE THE EXISTING GRADE, OR AS SPECIFIED IN THE NOISE ASSESSMENT REPORT DATED MARCH 2025 AND SHOWN ON OPS PLAN. BERMS SHALL NOT EXCEED 2:1 REFER TO TYPICAL BERM CROSS SECTION ON DRAWING 4 OF 5 DETAILS AND SECTIONS. ALL BERMS SHALL BE SEEDED (USING GRASS/ LEGUME MIXTURE, SEE REHABILITATION PLAN, NOTE #7) IMMEDIATELY UPON COMPLETION TO MINIMIZE NOISE, DUST AND EROSION.

15. ON COMPLETION OF THE BERMS, EXCESS ON-SITE OVERBURDEN WILL BE USED TO PROGRESSIVELY BACKFILL AND REHABILITATE THE SITE. TOPSOIL CAN BE TEMPORARILY STOCKPILED ON THE PIT FLOOR.

6. ALL SCRAP, USED MACHINERY AND STUMPS GENERATED THROUGH THE OPERATIONS WITHIN THIS LICENCE WILL BE STORED IN THE SCRAP AREA AS SHOWN, A MINIMUM OF 30m FROM THE BOUNDARY OF THE SITE AND NOT WITHIN 30m OF ANY BODY OF WATER. SCRAP SHALL BE DISPOSED OF ON AN ONGOING BASIS. UPON COMPLETION OF EXTRACTION, ALL SCRAP EQUIPMENT AND USED MACHINERY SHALL BE REMOVED.

#### STUMPS/ WOODY MATERIAL MAY BE CHIPPED AND USED FOR SOIL ENHANCEMENT DURING PROGRESSIVE REHABILITATION. TREES WILL BE HARVESTED AND SOLD AS LUMBER OR UTILIZED FOR FIREWOOD AND/OR

PETROLEUM STORAGE INFORMATION 8. FUEL, OIL, RADIATOR AND HYDRAULIC FLUID, AND OTHER CHEMICALS NEEDED FOR THE MAINTENANCE AND

FUNCTIONING OF ON-SITE AGGREGATE PROCESSING EQUIPMENT SHALL BE APPROPRIATELY STORED IN ABOVE-GROUND CONTAINERS AND SHALL MEET THE REQUIREMENTS OF THE GASOLINE HANDLING ACT. AS AMENDED, AND THE GASOLINE HANDLING CODE AND REGULATIONS, AS AMENDED BY THE TECHNICAL STANDARDS AND SAFETY ACT (TSSA) AND LIQUID FUELS HANDLING CODE, AND IN ACCORDANCE WITH THE MINISTRY OF THE ENVIRONMENT, CONSERVATION, AND PARK'S CHEMICAL STORAGE GUIDELINES. ALL REFUELING SHALL BE WITHIN A CONTAINMENT PAD. ALL SPILLS TO THE ENVIRONMENT MUST BE REPORTED TO THE SPILLS ACTION CENTRE OF MECP. ANY SPILL SHALL BE REMOVED AND DISPOSED OF AT AN APPROPRIATE MECP APPROVED FACILITY.

# SPILLS PLAN 19. IN CASE OF AN ACCIDENTAL SPILL OF PETROLEUM PRODUCTS, THE FOLLOWING CONTINGENCY PLAN WILL

- e) THE MINISTRY OF ENVIRONMENT & CLIMATE CHANGE (SEE ADDRESS & PHONE NUMBER BELOW) AND SURROUNDING LANDOWNERS WILL BE NOTIFIED.
- f) FOR A LEAKAGE OR SPILL IMMEDIATE ACTION WILL BE TAKEN TO STOP IT. AT THE SAME TIME MEASURES WILL BE TAKEN TO PREVENT SPREADING. THESE MEASURES MAY INCLUDE BUILDING OF A BERM OR CONSTRUCTION OF A DITCH, FOR INSTANCE.
- g) THE PIT OPERATOR SHALL COMMENCE RECOVERY PROCEDURES BY THE SPILLED SUBSTANCE INTO
- h) THE SOIL IN THE AREA AFFECTED BY THE SPILL OR LEAK SHALL BE REMOVED AND DISPOSED OF AT A LOCATION PRESCRIBED BY THE MINISTRY OF THE ENVIRONMENT & CLIMATE CHANGE.

D. ARCHAEOLOGICAL SITES 1 AND 2 (PER ARCHAEOLOGICAL REPORT) SHALL BE PROTECTED BY A 70m BUFFER. 1.2m FENCING SHALL BE INSTALLED ALONG THE BUFFER UNDER THE SUPERVISION OF A QUALIFIED PERSON AND SHALL REMAIN AND BE MAINTAINED UNTIL A STAGE 3 ARCHAEOLOGICAL ASSESSMENT HAS

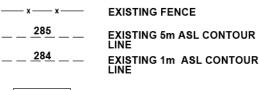
## SITE PLAN VARIANCES

ITEM		
1.	THE COMMON EAST BOUNDARY SETBACK IS REDUCED TO $0 \mathrm{m}$ PER AGREEMENT WITH ADJACENT LICENSEE.	0.13(1)10i
2.	STOCKPILING AND PROCESSING EQUIPMENT MAY BE LOCATED WITHIN 30 m OF THE COMMON EAST BOUNDARY PER AGREEMENT WITH ADJACENT LICENSEE.	0.13(1)13
3.	FENCING SHALL NOT BE INSTALLED ALONG THE NORTH WOODED PART OF THE EAST BOUNDARY, THE NORTH BOUNDARY, AND THE NORTH WOODED PART OF THE EAST BOUNDARY DUE TO EXISTING WETLAND/WOODLANDS THAT PREVENT ACCESS.	0.13(3)a

#### **LEGEND**

. . . . .

BOUNDARY OF PROPOSED LICENCE
BOUNDARY OF EXISTING LICENCED AREA
120m INFORMATION BOUNDARY
PROPERTY LINE
PROVINCIALLY SIGNIFICANT WETLAND BOUNDARY PER MNR MAPPING
EXTRACTION SETBACK





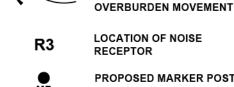






UNDISTURBED AREA





EXISTING BUILDING

AND NUMBER DRILLED

AND MONITORING WELL

NUMBER DRILLED AND

**INSTALLED JUNE 2025 BY** 

STONECAIRN CONSULTING

DIRECTION OF EXTRACTION

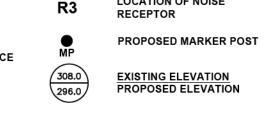
DIRECTION OF TOPSOIL AND

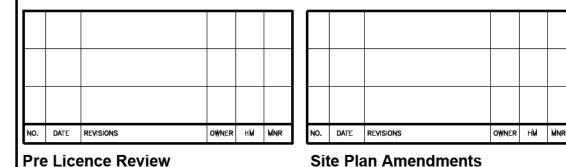
MONITORING WELL

INSTALLED APRIL 26, 2023

● HP EXISTING HYDRO POLE

BY LDS.





Pre Licence Review



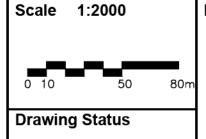
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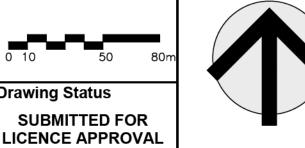


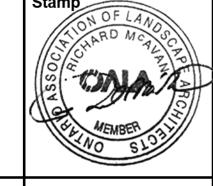
## **JEDBURGH PLAINS** LICENSEE SIGNATURE:

LICENCE No. PART LOT 32, CONCESSION 8

TOWNSHIP OF NORTH DUMFRIES (FORMER TOWNSHIP OF DUMFRIES) **REGIONAL MUNICIPALITY OF WATERLOO** 





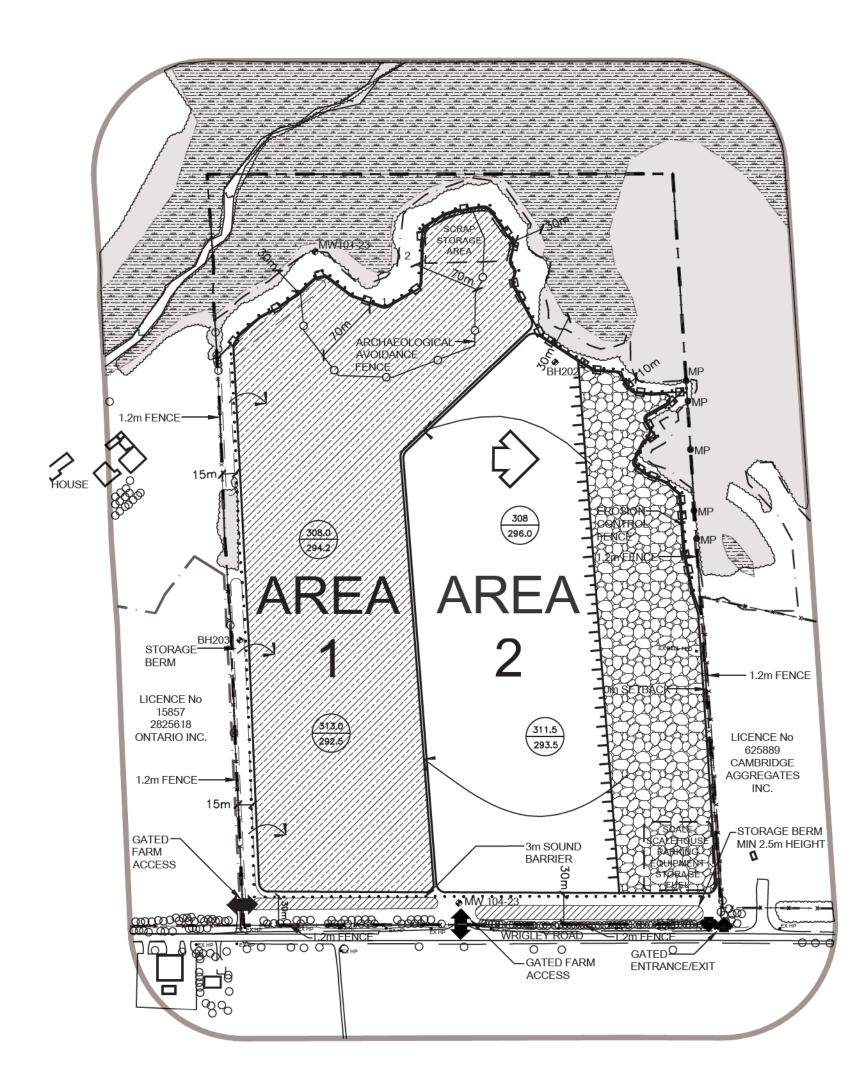


Drawn SB

Checked RM/BJ Issue Date SEPT 2025 Drawing Title Project Number

**OPERATIONAL PLAN PHASE A** 

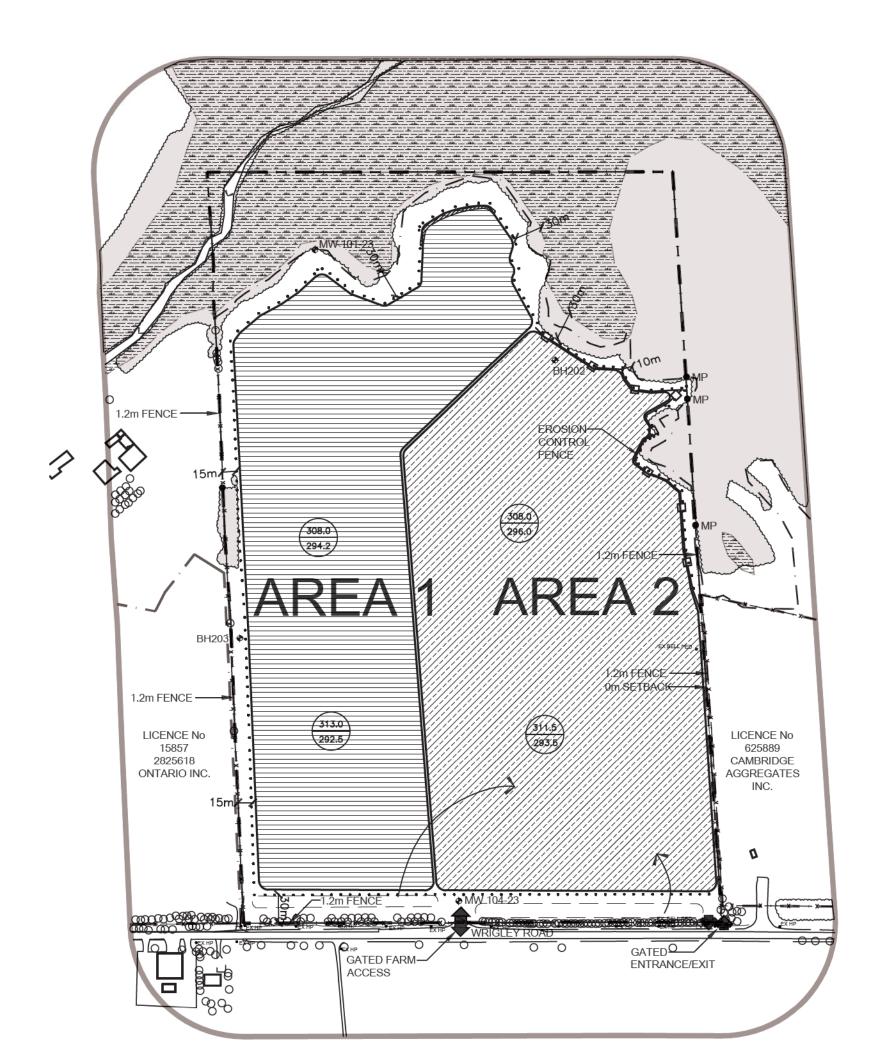
23-20 **Drawing Number** 



## **PHASE B**

#### PHASE B NOTES

- BEGIN PROGRESSIVE REHABILITATION OF AREA 1 AS RESERVES ARE DEPLETED USING STRIPPED MATERIAL AND MATERIAL IN STORAGE BERM.
- 2 COMPLETE EXTRACTION OF AREA 1 AND CONTINUE PROGRESSIVE REHABILITATION OF AREA 1 USING IMPORTED EXCESS SOIL AND MATERIAL STOCKPILED ON PIT FLOOR.
- 3. BEGIN STRIPPING TOPSOIL AND OVERBURDEN SEPARATELY IN AREA 2 AND USE TO COMPLETE REHABILITATION OF AREA 1.
- 3. BEGIN EXTRACTION IN AREA 2 IN DIRECTION SHOWN.
- 4. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS GROWING CONDITION



#### PHASE C PHASE C NOTES

- 1. BEGIN PROGRESSIVE REHABILITATION OF AREA 2 AS RESERVES ARE DEPLETED USING MATERIAL FROM STORAGE BERM AND IMPORTED EXCESS SOIL.
- 2. COMPLETE EXTRACTION IN AREA 2 AND CONTINUE REHABILITATION OF AREA 2 USING MATERIAL STORED IN BERMS AND IMPORTED EXCESS SOIL.
- 3. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS GROWING CONDITION

# PHASE D (NOT SHOWN)

- 2. COMPLETE REHABILITATION OF ALL AREAS, INCLUDING HAUL ROADS USING MATERIAL STORED IN BERMS AND IMPORTED EXCESS SOIL.
- 3. RETURN TO AGRICULTURE.

#### PHASE D NOTES REMOVE ALL SCRAP FROM SITE.

## **TECHNICAL RECOMMENDATIONS**

THE FOLLOWING ARE THE TECHNICAL RECOMMENDATIONS FROM ALL OF THE EXPERTS' REPORTS AS OF APRIL 2025. ADDITIONAL RECOMMENDATIONS MAY BE INCLUDED AS A RESULT OF THE LICENCE REVIEW

#### AIR QUALITY ASSESSMENT - RWDI - MARCH 2025

- 1. THE LICENSEE OR PERMITTEE SHALL APPLY WATER OR ANOTHER PROVINCIALLY APPROVED DUST SUPPRESSANT TO INTERNAL HAUL ROADS AND PROCESSING AREAS, AS NECESSARY TO MITIGATE DUST, IF THE PIT OR QUARRY IS LOCATED WITHIN 1,000 METRES OF A SENSITIVE RECEPTOR.
- 2. THE LICENSEE OR PERMITTEE SHALL EQUIP ANY PROCESSING EQUIPMENT THAT CREATES DUST WITH DUST SUPPRESSING OR COLLECTION DEVICES IF IT IS LOCATED WITHIN 300 METRES OF A
- 3. THE LICENSEE OR PERMITTEE SHALL OBTAIN ENVIRONMENTAL COMPLIANCE APPROVAL UNDER THE ENVIRONMENTAL PROTECTION ACT WHERE REQUIRED TO CARRY OUT OPERATIONS AT THE
- 4. THE SITE WILL OPERATE IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES PLAN FOR FUGITIVE DUST, DATED <<MONTH>>, 2025, WHICH MAY BE AMENDED FROM TIME TO TIME, CONSIDERING ACTUAL IMPACTS AND OPERATIONAL CONSIDERATIONS. THE RECOMMENDATIONS IN THE BEST MANAGEMENT PRACTICES PLAN ARE BASED ON THE MAXIMUM DAILY PRODUCTION RATES AT LOWER PRODUCTION RATES. THE CONTROL MEASURES SPECIFIED IN THE BEST MANAGEMENT PRACTICES PLAN CAN BE REDUCED ACCORDINGLY, PROVIDED DUST REMAINS MITIGATED ON SITE.

#### HYDROGEOLOGICAL ASSESSMENT - STONECAIRN - JULY 2025

- FUEL STORAGE, EQUIPMENT FILLING, AND EQUIPMENT MAINTENANCE SHALL BE CARRIED OUT IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES OUTLINED IN SECTION 7.1, INCLUDING DESIGNATED FUELING LOCATIONS AND IMPLEMENTATION OF SPILLS MANAGEMENT RESPONSE PLANS, AS APPROPRIATE TO REDUCE THE POTENTIAL AND MITIGATE RISKS ASSOCIATED WITH THE EQUIPMENT OPERATION.
- 2. GROUNDWATER LEVEL MONITORING SHALL CONTINUE AT THE SITE ON A QUARTERLY BASIS AFTER THE PIT IS LICENSED, AND CONTINUE UNTIL SITE RESTORATION IS COMPLETE.
- a) GROUNDWATER MONITORING SHALL INCLUDE STABILIZED GROUNDWATER LEVEL MEASUREMENTS. AND GROUNDWATER TEMPERATURE PROFILES AT EACH MONITORING LOCATION.
- b) A STAFF GAUGE SHALL BE INSTALLED AT THE POND TO PROVIDE A MONITORING POND FOR SURFACE WATER ELEVATIONS WITHIN THE POND AREA.
- c) DATA SHALL BE COMPILED INTO AN ANNUAL REPORT, PREPARED BY A QUALIFIED ENGINEER OR HYDROGEOLOGIST, AND CIRCULATED TO THE MINISTRY OF NATURAL RESOURCES, AND ANY OTHER APPROVAL AGENCIES, AS PRESCRIBED UNDER THE TERMS AND CONDITIONS OF THE
- d) IN THE EVENT THAT EXISTING MONITORING WELLS ARE REMOVED OR DAMAGED DURING THE SITE ACTIVITIES, A REPLACEMENT MONITORING WELL SHALL BE INSTALLED. THE LOCATION AND DEPTH OF THE WELL SCREEN SHALL BE CONFIRMED BY THE ENGINEER/HYDROGEOLOGIST TO CONFIRM THAT SUITABLE DATA COLLECTION CAN OCCUR IN THE ALTERNATE LOCATION.
- e) IN THE EVENT THAT WATER LEVELS ARE FOUND TO FALL OUTSIDE OF THE SEASONAL WATER LEVEL MEASUREMENTS WHICH HAVE BEEN ESTABLISHED AT THE EXISTING MONITORING WELL LOCATIONS, A MORE DETAILED REVIEW AND ASSESSMENT OF THE GROUNDWATER CONDITIONS SHALL BE UNDERTAKEN TO IDENTIFY IF CHANGES OUTSIDE OF THE EXISTING THRESHOLD VALUES ARE THE RESULT OF AGGREGATE EXTRACTION ACTIVITIES.
- 3. GROUNDWATER SAMPLES HAVE BEEN COLLECTED AT THE SITE TO ESTABLISH BASELINE WATER QUALITY CONDITIONS FOR SHALLOW GROUNDWATER WITHIN THE UNCONFINED AQUIFER WHICH IS EXPECTED TO BE ENCOUNTERED DURING THEAGGREGATE EXTRACTION OPERATION. FUTURE WATER QUALITY TESTING CAN BE COMPARED TO THE BACKGROUND INFORMATION PRESENTED IN THIS REPORT, IF REQUIRED.
- 4. IF COMPLAINTS ARE RECEIVED FROM NEARBY OR NEIGHBOURING PROPERTY OWNERS (WITHIN 120 m OF THE SITE), THE WATER SUPPLY INTERFERENCE PROTOCOLS OUTLINED IN SECTION 7.3 OF THIS REPORT SHALL BE ADHERED TO.

## WELL INTERFERENCE COMPLAINT PROTOCOL

- 1. NEARBY AND NEIGHBOURING PROPERTIES SHALL BE PROVIDED WITH 24-HOUR EMERGENCY CONTACT INFORMATION FOR THE LICENSEE, TO FACILITATE REPORTING OF PERCEIVED WATER
- 2. NEARBY AND NEIGHBOURING PROPERTIES WHICH EXPERIENCE DISRUPTION OR QUALITY PROBLEMS SHALL NOTIFY THE LICENSEE, WHO WILL BE RESPONSIBLE TO REPORT THE WELL INTERFERENCE COMPLAIN TO MNR AND MECP.
- 3. IN THE EVENT THAT THE WELL OWNER EXPERIENCES A SIGNIFICANT DISRUPTION IN THEIR WATER SUPPLY, OR EXPERIENCE SIGNIFICANT ADVERSE EFFECTS UPON THEIR WATER QUALITY; AND IF THE OPERATION OF THE PIT CANNOT OBVIOUSLY AND DEFINITIVELY BE EXCLUDED AS THE CAUSE THE LICENSEE SHALL PROVIDE A TEMPORARY WATER SUPPLY WITHIN 24 HOURS AND THEREAFTER UNTIL SUCH TIME AS THE CAUSE OF THE DISTURBANCE CAN BE DETERMINED AND THE SITUATION
- 4. THE LICENSEE SHALL INVESTIGATE THE CAUSE OF THE WATER SUPPLY DISTURBANCE AND SHALL REPORT TO THE MNR, MECP AND THE WELL OWNER.
- 5. IF IT IS DETERMINED THAT THE AGGREGATE EXTRACTION AT THE PIT HAS BEEN FOUND TO HAVE CAUSED A DOMESTIC OR FARM WATER SUPPLY TO BE ADVERSELY AFFECTED, THE LICENSEE SHALL, AT THE LICENSES EXPENSE, EITHER RESTORE OR REPLACE THE WATER SUPPLY TO ENSURE THAT HISTORIC WATER SUPPLY AND QUALITY ARE RESTORED FOR SUCH A RESIDENT. IF IT IS DETERMINED THAT THE OPERATION OF THE PIT HAS NOT CAUSED ANY DOMESTIC OR FARM WATER SUPPLY TO BE ADVERSELY AFFECTED, THE TEMPORARY WATER SUPPLY WILL BE MAINTAINED FOR AN ADDITIONAL 24 HOURS TO ALLOW THE RESIDENT TO MAKE ALTERNATE WATER SUPPLY ARRANGEMENTS.

#### ACOUSTIC ASSESSMENT - HGC - JULY, 2025

1. TABLE 2 BELOW PRESENTS THE REFERENCE SOUND LEVELS USED FOR THE ACOUSTIC MODELING PRESENTED HEREIN. THESE SOUND LEVELS WERE BASED ON SITE MEASUREMENTS OF PROCESSING EQUIPMENT TO BE USED IN THIS PIT, AND ALSO ADDITIONAL INFORMATION TAKEN FROM OUR FILES FOR OTHER SIMILAR FACILITIES.

REFERENCE SOUND POWER LEVELS OF PROCESSING EQUIPMENT				
EQUIPMENT	REFERENCE AVERAGE 'A WEIGHTED SOUND POWER LEVEL			
CRUSHING & SCREENING PLANT AND ASSOCIATED LOADER (COMBINED)	119 dBA (76 dBA, SPL AT 50 m			
SCREENING PLANT AND ASSOCIATED LOADER (COMBINED)	113 dBA (72 dBA, SPL AT 50 m			
LOADER OR EXCAVATOR	107 dBA (65 dBA, SPL AT 50 m			

IF OTHER EQUIPMENT IS PROPOSED FOR OPERATION IN THE GRAVEL PIT. IT SHALL BE CONFIRMED THROUGH MEASUREMENT TO PRODUCE SOUND LEVELS CONSISTENT WITH THE ABOVE REFERENCED SOUND LEVELS OR ADDITIONAL MITIGATION MEASURES MAY BE

ACTIVITIES USED TO PREPARE THE SITE FOR EXCAVATION, SUCH AS THE STRIPPING OF TOPSOIL, CONSTRUCTION OF BERMS I OCATING THE PROCESSING PLANTS AT THEIR INITIAL LOCATIONS ON THE PIT FLOOR ELEVATION, OR ACTIVITIES RELATED TO THE REMEDIATION OF THE SITE AFTER THE EXTRACTION IS COMPLETED ARE CONSIDERED TO BE CONSTRUCTION ACTIVITIES. THEY ARE REGULATED UNDER MUNICIPAL BYLAWS AND NPC-115 "SOUND LEVEL LIMITS FOR MOTORIZED CONSTRUCTION EQUIPMENT".

SCENARIO 1: BEFORE THE RESIDENTIAL DEVELOPMENT IS OCCUPIED - SHOWN ON OPERATIONAL PLAN IF THE PIT BEGINS OPERATIONS BEFORE THE RESIDENTIAL DEVELOPMENT IS OCCUPIED THE FOLLOWING RECOMMENDATIONS APPLY.

- 3. PRIOR TO EXTRACTION ACTIVITIES IN AREA 1, A 3.0 m HIGH NOISE BARRIER ABOVE EXISTING GRADE SHALL BE CONSTRUCTED ALONG THE WESTERN PORTION OF THE SOUTHERN BOUNDARY.
- 4. THE PROCESSING (CRUSHING AND SCREENING) PLANT SHALL BE LOCATED AT THE FINAL PIT FLOOR ELEVATION.
- THE PROCESSING (CRUSHING AND SCREENING) PLANT SHALL NOT OPERATE WITHIN 250 m OF R2 AND WITHIN 400 m OF R4. A MINIMUM 8 m HIGH ACOUSTICAL BARRIER SHALL BE CONSTRUCTED BESIDE THIS PROCESSING PLANT IN THE DIRECTION OF R2 TO R4.

6. THE SINGLE SCREENING PLANT SHALL NOT OPERATE WITHIN 250 M OF R4. A MINIMUM 7 M HIGH ACOUSTICAL BARRIER SHALL BE CONSTRUCTED BESIDE THE SCREENING PLANT IN THE DIRECTION OF R2 TO R4.

PRIOR TO OCCUPANCY OF THE DWELLING UNITS IN THE EASTERN PORTION OF THE RESIDENTIAL DEVELOPMENT THE FOLLOWING RECOMMENDATIONS MUST BE IMPLEMENTED 7. PRIOR TO EXTRACTION ACTIVITIES IN AREA 1, A 5.0 m HIGH NOISE BARRIER ABOVE EXISTING

SCENARIO 2: WHEN THE RESIDENTIAL DEVELOPMENT IS OCCUPIED

THIS PROCESSING PLANT IN THE DIRECTION OF R2 TO R8.

- HIGH NOISE BARRIER ABOVE EXISTING GRADE SHALL BE CONSTRUCTED ALONG THE WESTERN PORTION OF THE SOUTHERN BOUNDARY. THE PROCESSING (CRUSHING AND SCREENING) PLANT SHALL BE LOCATED AT THE FINAL PIT
- FLOOR ELEVATION. 9. THE PROCESSING (CRUSHING AND SCREENING) PLANT SHALL NOT OPERATE WITHIN 300 m OF R2 TO R8 AND 400 m OF R4. A MINIMUM 8 m HIGH NOISE BARRIER SHALL BE CONSTRUCTED BESIDE

GRADE SHALL BE CONSTRUCTED ALONG THE WESTERN BOUNDARY OF AREA 1 AND A 3.0 m

THE SINGLE SCREENING PLANT SHALL NOT OPERATE WITHIN 200 m OF R5 TO R8 AND WITHIN 250 m OF R4. A MINIMUM 8 m HIGH ACOUSTICAL BARRIER SHALL BE CONSTRUCTED BESIDE THIS SCREENING PLANT IN THE DIRECTION OF R2 TO R8.

#### NATURAL ENVIRONMENT ASSESSMENT - MTE - JULY, 2025

- COMPENSATION PLANTINGS FOR THE REMOVAL OF POLYGONS 1 AND 2 SHALL BE PROVIDED AT A 1:1 AREA RATIO WITHIN THE SOUTHERN, WESTERN, EASTERN AND NORTHERN PORTIONS OF THE LICENCE AREA DURING THE REHABILITATION PHASE. PROPOSED COMPENSATION AREAS WILL BE SITED WITHIN THE PROPOSED INFILTRATION AREA, WHEREIN FUTURE HYDROLOGIC CONDITIONS ARE EXPECTED TO LIMIT THE PRODUCTIVITY OF FUTURE AGRICULTURAL LAND USES, AND ALONG THE NORTHEASTERN SIGNIFICANT WOODLAND BOUNDARY TO REESTABLISH VEGETATION WITHIN AREAS MAPPED AS ENVIRONMENTALLY SENSITIVE LANDSCAPE. NATIVE, NON-INVASIVE SPECIES SHALL BE USED ONLY. TARGETED SPECIES PLANTINGS SHALL REFLECT THE COMPOSITION OF THE ADJACENT FEATURES AND POLYGONS 1 AND 2. TREE SPECIES MAY INCLUDE YELLOW BIRCH (BETULA ALLEGHANIENSIS), RED MAPLE (ACER RUBRUM), SUGAR MAPLE (ACER SACCHARUM) AND GROUND SPECIES MAY INCLUDE NATIVE ASTERS AND GOLDENRODS.
- 2. IF REQUIRED AS A RESULT OF MECP CONSULTATION, FIVE BAT BOXES SHALL BE INSTALLED WITHIN PROPOSED COMPENSATION AREAS PRIOR TO THE REMOVAL OF CAVITY AND LEAF CLUSTER TREES IDENTIFIED IN POLYGONS 1 AND 2 UNDER THE DIRECTION OF A QUALIFIED **ECOLOGIST**
- 3. THE DRIPLINE OF THE SIGNIFICANT WOODLANDS SHALL BE FORMALLY SURVEYED PRIOR TO CONSTRUCTION AND OPERATIONS. A MINIMUM OF 10 METRES SETBACK FROM THE SURVEYED DRIPLINE SHALL BE APPLIED TO THE SIGNIFICANT WOODLANDS. NO CONSTRUCTION. AGGREGATE OPERATIONAL WORKS OR BERMS SHALL BE PLACED WITHIN THE SETBACK. THE 10 METRE SETBACK IS THE MINIMUM REQUIRED SETBACK AS PER POLICY 7.C.11 OF THE ROP.
- 4. PRIOR TO CONSTRUCTION, HEAVY-DUTY SEDIMENT AND EROSION CONTROL FENCING SHALL BE INSTALLED BETWEEN THE EXTRACTION LIMITS AND THE NATURAL FEATURES TO PROTECT ADJACENT NATURAL AREAS. ESC FENCING WILL ACT AS A BARRIER TO SPILLS AND DISTURBANCE THAT MAY IMPACT THE ADJACENT WETLANDS AND WOODLANDS. AS WELL AS AID IN KEEPING EXISTING VEGETATION INTACT. SEDIMENT AND EROSION CONTROL FENCING WILL BE INSTALLED ACCORDING TO THE EROSION AND SEDIMENT CONTROL GUIDE FOR URBAN CONSTRUCTION (TRCA, 2019) OR APPROVED EQUIVALENT.
- DURING CONSTRUCTION AND OPERATIONS, THE LANDS BETWEEN THE SEDIMENT AND EROSION CONTROL FENCING AND NATURAL AREAS SHALL BE MAINTAINED. THE AREA BETWEEN THE ESC SILT FENCING AND EXTRACTION LIMITS SHALL BE SEEDED TO FURTHER BUFFER NATURAL AREAS FROM EXTRACTION OPERATIONS.
- SEDIMENT AND EROSION CONTROL FENCING SHALL BE INSPECTED PRIOR TO CONSTRUCTION TO ENSURE IT HAS BEEN INSTALLED CORRECTLY AND DURING CONSTRUCTION TO ENSURE THAT THE FENCING IS BEING MAINTAINED AND IS FUNCTIONING PROPERLY

- 7. SEDIMENT AND EROSION CONTROL FENCING SHALL NOT BE REMOVED UNTIL EXTRACTION OPERATIONS END.
- 8. NO HEAVY EQUIPMENT, VEHICLES OR OTHER EQUIPMENT IS TO ENTER ADJACENT NATURAL
- 9. PROHIBIT REFUELING AND MAINTENANCE ACTIVITIES WITHIN 30 METRES OF PROTECTED
- 10. CREATION OF SUITABLE BANK SWALLOW HABITAT (E.G., SOIL STOCKPILES) DURING EXTRACTION SHALL BE AVOIDED. BEST MANAGEMENT PRACTICES FOR DETERRING NESTING DURING EXTRACTION ACTIVITIES WILL BE IMPLEMENTED (MNRF, 2017), THESE MEASURES SHALL INCLUDE STOCKPILE SLOPE MANAGEMENT (I.E., GRADING STOCKPILES, ELIMINATING VERTICAL EXTRACTION FACES, REDUCING SLOPES TO 70 DEGREES OR LESS) BEGINNING AT THE START OF APRIL UNTIL AT LEAST JULY 20 OF ANY YEAR
- 11. ALL NECESSARY LIGHTING FOR OPERATIONS SHALL BE DIRECTED DOWNWARD AND DIRECTED AWAY FROM THE ADJACENT PSW AND SIGNIFICANT WOODLAND FEATURES.
- 12. AS PER THE MBCA (1994), ANY TREE REMOVALS SHALL OCCUR OUTSIDE OF THE MIGRATORY BREEDING BIRDS SEASON (I.E., APRIL 1 TO AUGUST 31). IF THIS WINDOW CANNOT BE AVOIDED, NEST SEARCHES TO DETERMINE THE PRESENCE OR ABSENCE OF NESTING BIRDS OR BREEDING HABITAT SHALL BE CONDUCTED UNTIL CLEARING IS COMPLETE, OR UNTIL AUGUST 31, WHICHEVER COMES FIRST.
- 13. ADVISE WORKERS OF POTENTIAL ENCOUNTERS WITH WILDLIFE DURING CONSTRUCTION. IF AN ANIMAL ENTERS THE WORK SITE, WORK AT THAT LOCATION WILL STOP AND THE ANIMAL SHALL BE PERMITTED TO LEAVE UNHARASSED. IF THERE ARE REPEAT OBSERVATIONS OF WILDLIFE IN THE WORK AREA BARRIER FENCING (F.G., SILT FENCE) MAYBE NEEDED TO DIRECT WILDLIFE AWAY FROM ACTIVE CONSTRUCTION/OPERATIONS AND TOWARD NATURAL AREAS.
- 14. WHERE TREE REMOVAL IS PROPOSED, REMOVAL OF TREES OF ANY SIZE SHALL OCCUR OUTSIDE THE BAT MATERNITY ROOST PERIOD, WHICH IS APPROXIMATELY APRIL 1 TO SEPTEMBER 30.
- 15. A 30 METRE SETBACK FROM THE PSW AND A 10 METRE SETBACK FROM THE SIGNIFICANT WOODLAND SHALL BE IMPLEMENTED. THE NATURAL COMPENSATION AREAS SHALL BE SEEDED AND PLANTED WITH A SUITABLE MIX COMPRISED OF NATIVE SPECIES ASSEMBLAGES REMINISCENT OF THE ADJACENT VEGETATION COMMUNITIES, INCLUDING POLLINATOR-BENEFICIAL SPECIES THAT ARE NATIVE TO THE AREA. NO INVASIVE OR NON-NATIVE SPECIES SHALL BE INCLUDED IN THE SEED MIX. PRIOR TO INSTALLATION. THE CORRECT SEED AND TREE/SHRUB SPECIES SHALL BE CONFIRMED BY THE LANDSCAPE CONTRACTOR.
- 16. COMPLETE VEGETATION MONITORING IN THE COMPENSATION AREAS OVER THREE YEARS (I.E., MONITORING IN YEARS 2 AND 3), TO DOCUMENT COMPLIANCE WITH A PREPARED LANDSCAPE PLAN. MONITORING IN YEAR 1 BY THE LANDSCAPE CONTRACTOR SHALL DOCUMENT THE SUCCESS OF SEED GERMINATION. VEGETATIVE COVER AND TREE/SHRUB INSTALLATION. MONITORING IN YEARS 2 AND 3 SHALL DOCUMENT PLANT ESTABLISHMENT AND GROWTH THROUGH THE COMPLETION OF A FLORAL INVENTORY THROUGH ONE SITE VISIT CONDUCTED BY A QUALIFIED PROFESSIONAL DURING THE GROWING SEASON.
- IMPLEMENT ADAPTIVE MANAGEMENT STRATEGIES, SUCH AS SUPPLEMENTAL PLANTINGS AND/OR CONTROL OF NON-NATIVE INVASIVE SPECIES. IF REQUIRED, ADAPTATIVE MANAGEMENT MAY BE TRIGGERED BY POOR SURVIVAL OF PLANTED MATERIAL (I.E., TRIGGERED AT <80% SURVIVAL OF SEEDED SPECIES OR WOODY MATERIALS), INSUFFICIENT VEGETATION COVER (I.E., TRIGGERED AT <80% IF PLANTED AT 100%) AND THE PRESENCE OF INVASIVE SPECIES (I.E., TRIGGERED AT >20% INVASIVE GROUNDCOVER; 80% NONNATIVE/NATIVE IS TARGET). ADAPTIVE MANAGEMENT STRATEGIES WITHIN WOODLAND COMPENSATION AREAS WILL DEPEND ON THE ISSUE ENCOUNTERED, BUT MAY INCLUDE:
- REPLANTING OF DEAD TREES/SHRUBS OR OTHER PLANT MATERIALS; AND INCREASED MONITORING FREQUENCY OR LENGTH (E.G., ADDING MONITORING IN YEAR 4).

RE-SEEDING WITH A TARGET SEED MIX:

18. INVENTORY INVASIVE PLANTS THROUGHOUT THE ECOLOGICAL MONITORING PERIOD. THIS SHALL INCLUDE IDENTIFICATION OF INVASIVE SPECIES TYPE. LOCATION AND ABUNDANCE WITHIN COMPENSATION AREAS AS WELL AS A RECORD OF COMPLETED MANAGEMENT STRATEGIES.

#### EXTRACTION SETBACK SIGNIFICANT WOODLAND BOUNDARY MAPPED BY MTE EXISTING FENCE EXISTING BUILDING **EXISTING VEGETATION**

**LEGEND** 

\_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_

REHABILITATION

EXISTING HYDRO POLE MW101 BOREHOLE LOCATION EXISTING WETLAND AND NUMBER DRILLED AND MONITORING WELL **INSTALLED APRIL 26, 2023 EXTRACTION FACE** BY LDS.

BOUNDARY OF PROPOSED LICENCE

120m INFORMATION BOUNDARY

**BOUNDARY PER MNR MAPPING** 

PROPERTY LINE

**BOUNDARY OF EXISTING LICENCED AREA** 

PROVINCIALLY SIGNIFICANT WETLAND



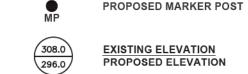


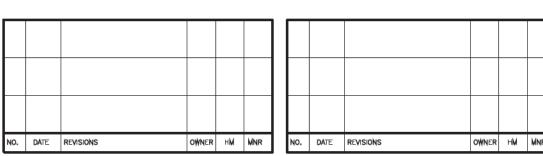
FINAL REHABILITATION **DIRECTION OF EXTRACTION** EROSION CONTROL FENCE



**EXISTING GATED** 

ENTRANCE/EXIT





Pre Licence Review Site Plan Amendments



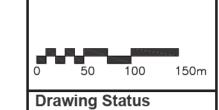
Project Name



# **JEDBURGH PLAINS**

LICENCE No. PART LOT 32, CONCESSION 8

TOWNSHIP OF NORTH DUMFRIES (FORMER TOWNSHIP OF DUMFRIES) REGIONAL MUNICIPALITY OF WATERLOO



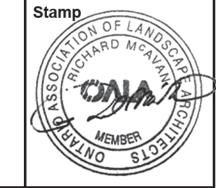
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LICENCE APPROVAL

**Drawing Title** 

Scale 1:4000





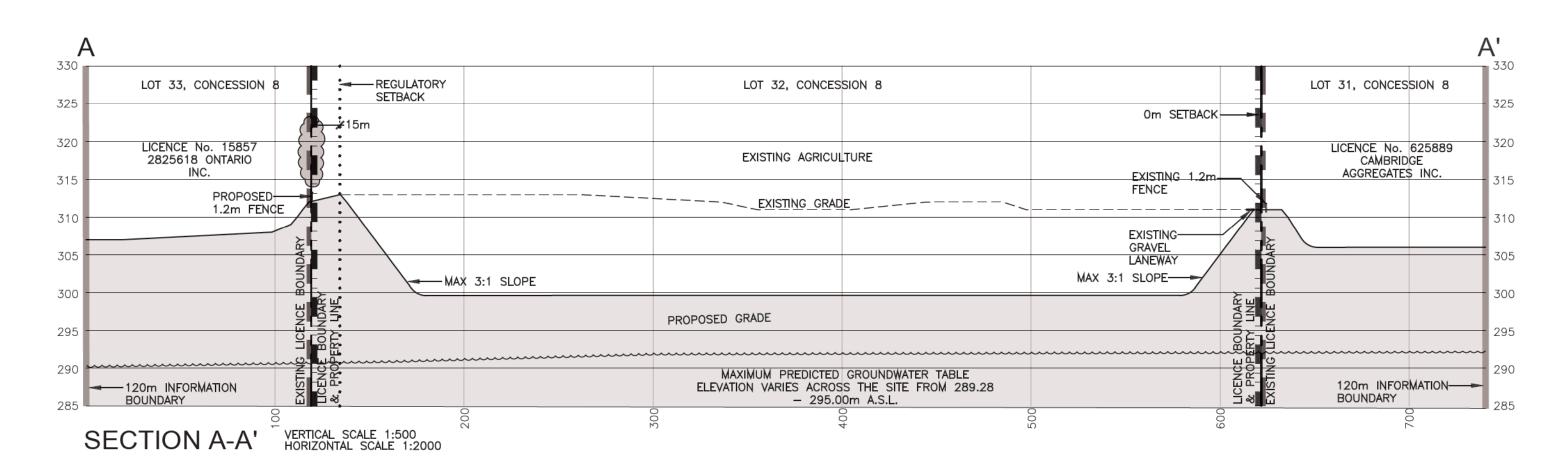
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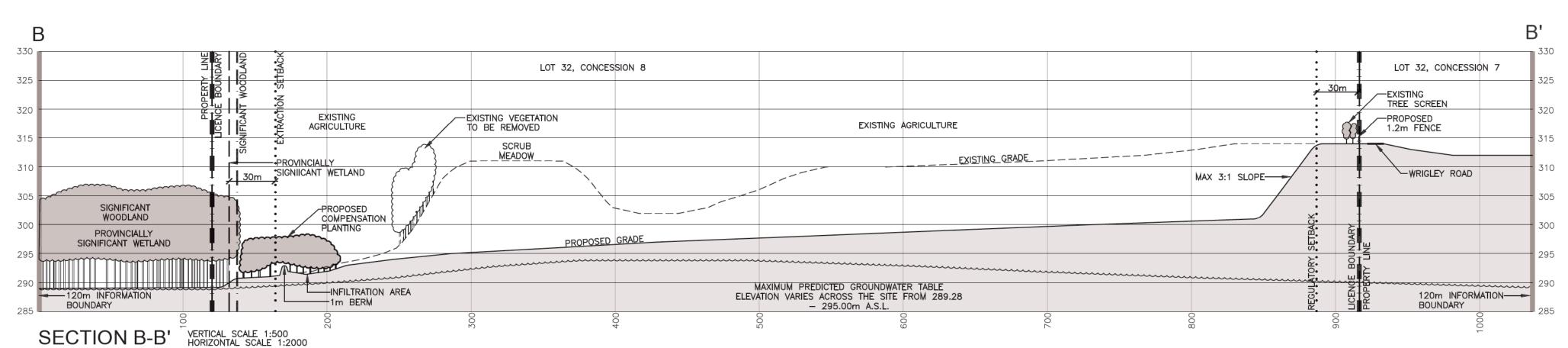
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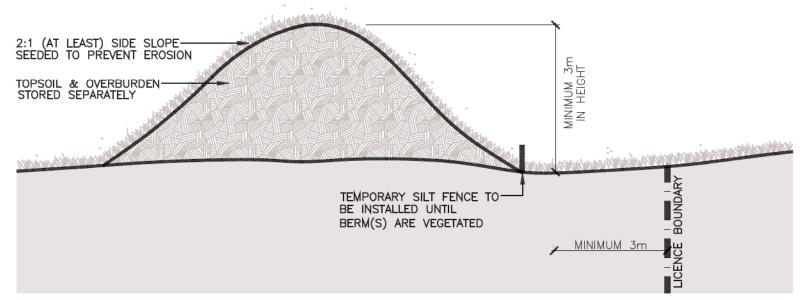
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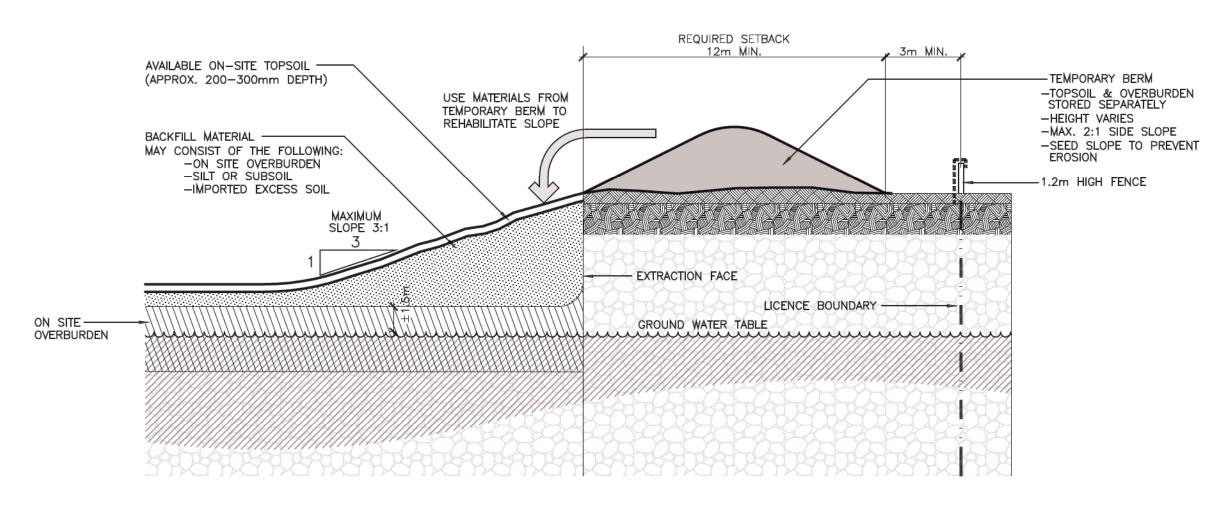
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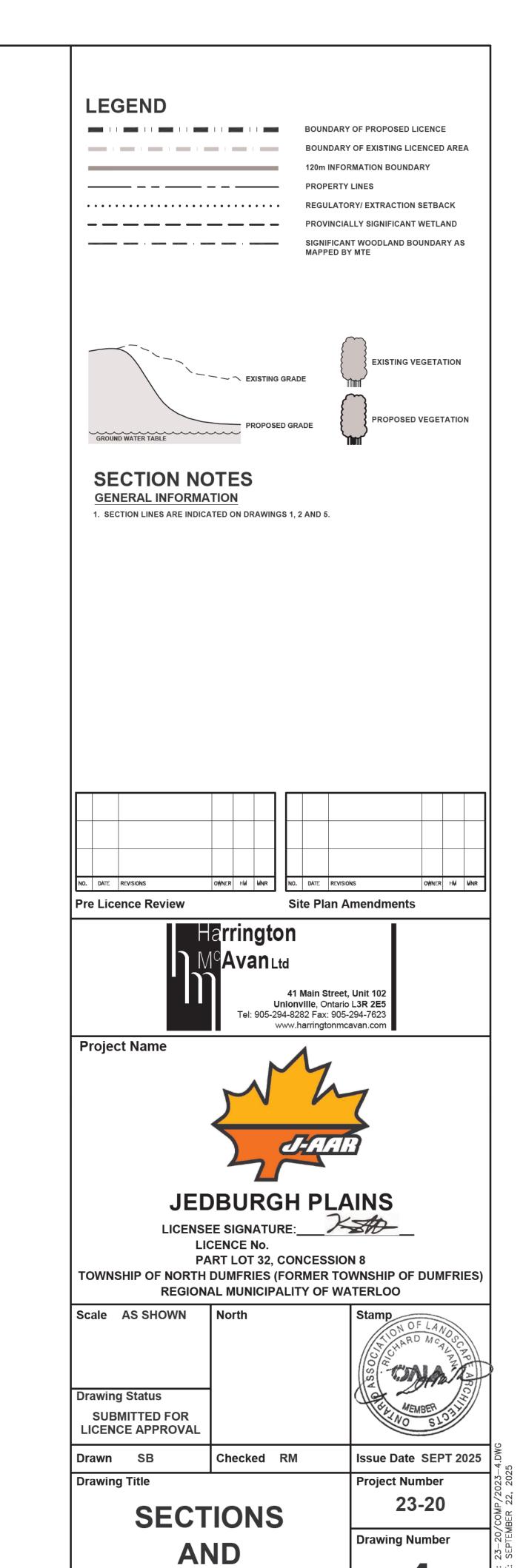




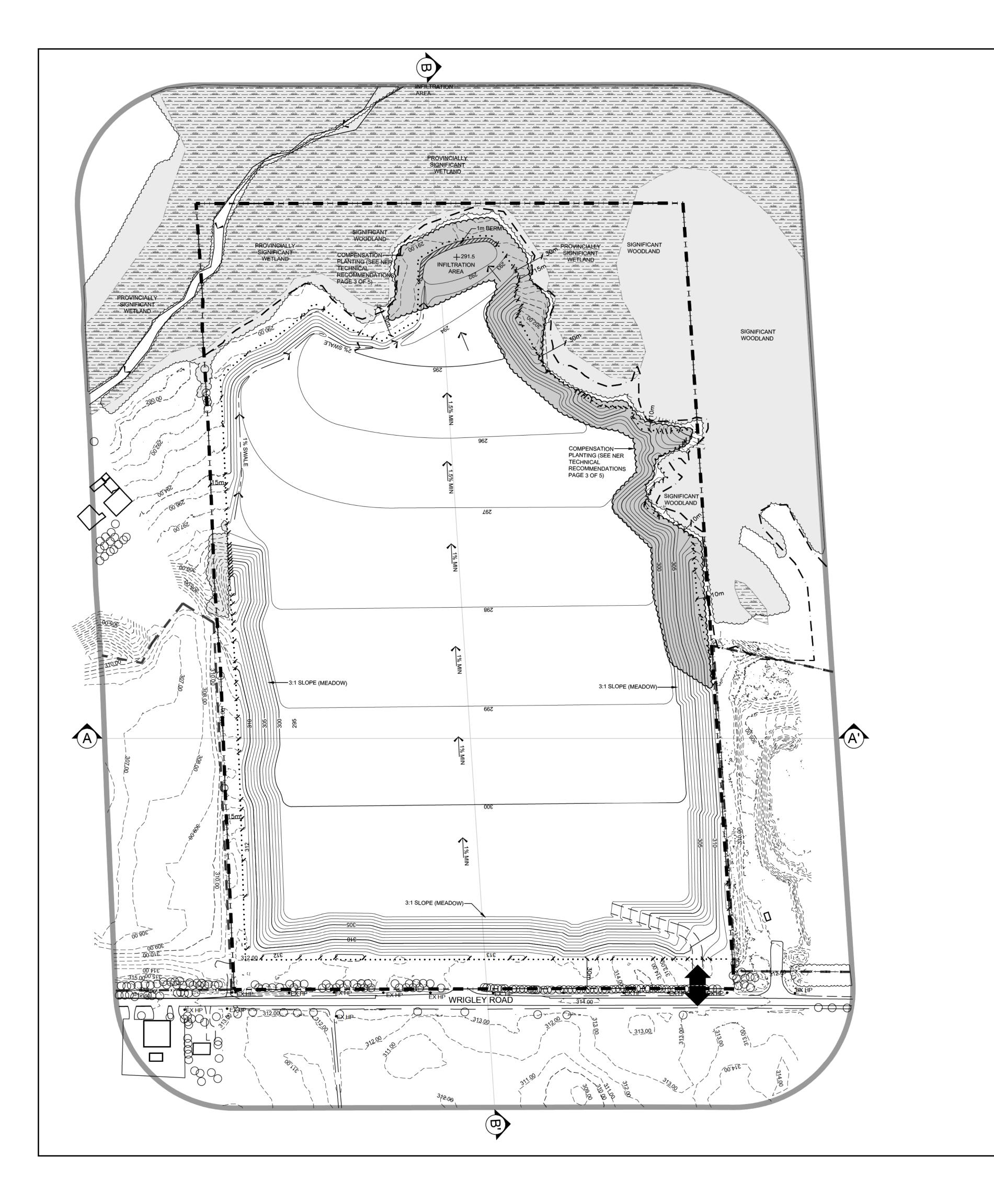
TYPICAL BERM SECTION N.T.S.



TYPICAL SIDESLOPE REHABILITATION BY BACKFILLING



**DETAILS** 



#### **REHABILITATION NOTES**

#### **GENERAL INFORMATION**

REFER TO SHEET 1 OF 5 FOR EXISTING FEATURES, 2 AND 3 OF 5 FOR SCHEMATIC OPERATIONS, PAGE 4 OF 5 CROSS SECTIONS AND DETAILS, AND PAGE 5 OF 5 REHABILITATION NOTES AND DETAILS.

8.4 HA

29.9 HECTARES

2. PROPERTY SHALL BE REHABILITATED TO: MEADOW SIDE SLOPE TOTAL REHABILITATION

#### HYDROGEOLOGICAL INFORMATION

3. IT IS ANTICIPATED THAT THE GROUNDWATER ELEVATION ACROSS THE SITE WILL REMAIN RELATIVELY UNCHANGED AT 288.29 - 295.00 A.S.L. (REFER TO HYDROGEOLOGICAL ASSESSMENT).

4. ALL SURFACE DRAINAGE WILL BE DIRECTED TO THE LOW AREAS REMAINING ON THE PIT FLOOR SO THAT THE WATER CAN INFILTRATE INTO THE SOILS.

#### **GRADING & VEGETATION INFORMATION**

BUCKWHEAT

TALL FESCUE

REHABILITATED SLOPES WITHIN THE LICENCED AREA WILL BE CONSTRUCTED AS SHOWN ON THE CROSS SECTIONS. SLOPES SHALL BE REHABILITATED BY BACKFILLING (MINIMUM 3:1) AND/OR CUT AND FILL METHOD USING ON SITE SOIL AND/OR OVERBURDEN. EXCAVATION OF THE PIT FLOOR SHALL NOT BE WITHIN 1.5m OF THE WATER TABLE.

PROPOSED PIT FLOOR GRADES SHOWN ARE MIN 1.5 m ABOVE HIGH WATER TABLE ELEVATION (REFER TO HYDROGEOLOGICAL REPORT). FINAL GRADING MAY BE ADJUSTED WITH ONGOING HYDROGEOLOGICAL MONITORING. MINIMUM SURFACE SLOPE OF PIT FLOOR SHALL BE 1.0 %.

ALL AVAILABLE TOPSOIL ON THE SITE WILL REMAIN AND BE USED FOR REHABILITATION OF THIS

VEGETATION STABILIZATION INFORMATION AGRICULTURAL AREAS SHALL BE SEEDED WITH A MIXTURE THAT MAY INCLUDE THE FOLLOWING AT A RATE OF APPROXIMATELY 125KG/HA: WHITE CLOVER

NATURAL FEATURE BUFFERS AND SIDE SLOPES SHALL BE SEEDED WITH A SUITABLE MIX COMPRISED OF FORBS, HERBS AND GRASS SPECIES, INCLUDING POLLINATOR-BENEFICIAL SPECIES, THAT ARE NATIVE TO THE AREA. NO INVASIVE OR NON-NATIVE SPECIES SHALL BE INCLUDED IN THE SEED MIX.

#### AGRICULTURAL REHABILITATION INFORMATION

RED CLOVER

ANNUAL RYE

- 8. DEEP RIPPING OF FIELDS SHALL BE PERFORMED TO ELIMINATE COMPACTION (WHERE
- 9. SPREADING OF 200 mm OF SUBSOIL/ OVERBURDEN AND ROUGH GRADING.
- REMOVAL OF STONES LARGER THAN 75 mm, AS REQUIRED.
- 11. SPREADING OF 360 mm OF AVAILABLE TOPSOIL AND FINE GRADING.
- 12. SEED AREAS WITH SEED MIXTURE NOTED ABOVE. ALL VEGETATION PLANTED DURING THIS LICENCE WILL BE MAINTAINED IN A HEALTHY, VIGOROUS GROWING CONDITION.
- 13. USE OF ACCEPTED FARMING PRACTICES TO RESTORE TO AGRICULTURE.

#### IMPORTATION OF FILL INFORMATION

- 14. EXCESS SOIL, AS DEFINED IN ONTARIO REGULATION 244/97 MAY BE IMPORTED TO THIS SITE TO FACILITATE THE FOLLOWING REHABILITATION:
- a.i CREATION OF 3:1 SLOPES (OR SLOPING RATIO OTHERWISE DESCRIBED ON THE FINAL REHABILITATION PAGE)
- ii TOP DRESSING TO ESTABLISH VEGETATION iii GENERAL FILL VOLUME AS REQUIRED TO ACHIEVE REHABILITATION GRADE.
- b. LIQUID SOIL, AS DEFINED BY ONTARIO REGULATION 406/19 UNDER THE ENVIRONMENTAL PROTECTION ACT, IS NOT AUTHORIZED FOR IMPORTATION INTO THE SITE.
- EQUIVALENT TO OR MORE STRINGENT THAN THE APPLICABLE EXCESS SOIL QUALITY STANDARDS AS DETERMINED IN ACCORDANCE WITH ONTARIO REGULATION 244/97 AS AMENDED FROM TIME TO TIME AND MUST BE CONSISTENT WITH THE SITE CONDITIONS AND THE END USE IDENTIFIED IN THE APPROVED REHABILITATION PLAN.

c. THE QUALITY OF EXCESS SOIL IMPORTED TO THE SITE FOR FINAL PLACEMENT MUST BE

ACCORDANCE WITH ONTARIO REGULATION 244/97, THE QUALITY, STORAGE, AND FINAL PLACEMENT OF EXCESS SOILS SHALL BE DONE ACCORDING TO THE ADVICE OF THE QUALIFIED PERSON. e. EXCESS SOIL IMPORTED TO FACILITATE REHABILITATION AS DESCRIBED ON THIS SITE

I. WHERE A QUALIFIED PERSON IS RETAINED OR REQUIRED TO BE RETAINED IN

PLAN SHALL BE UNDERTAKEN IN ACCORDANCE WITH ONTARIO REGULATION 244/97 UNDER THE AGGREGATE RESOURCES ACT, AS AMENDED FROM TIME TO TIME

SITE FOR REHABILITATION PURPOSES IS 1,865,970 m3.

f. THE CUMULATIVE TOTAL AMOUNT OF EXCESS SOIL THAT MAY BE IMPORTED TO THIS

#### **LEGEND**

BOUNDARY OF PROPOSED LICENCE BOUNDARY OF EXISTING LICENCED AREA 120m INFORMATION BOUNDARY EXTRACTION SETBACK \_\_\_\_\_ PROVINCIALLY SIGNIFICANT WETLAND BOUNDARY PER MNR MAPPING SIGNIFICANT WOODLAND BOUNDARY MAPPED BY MTE EXISTING FENCE EXISTING BUILDING EXISTING 5m ASL CONTOUR

PROPOSED 5m ASL CONTOUR PROPOSED 1m ASL CONTOUR EXISTING VEGETATION

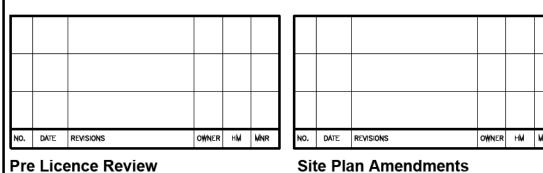
EXISTING WETLAND

EXISTING 1m ASL CONTOUR

PROPOSED VEGETATION

EXISTING HYDRO POLE

LOCATION OF SECTION



Site Plan Amendments



Project Name



**JEDBURGH PLAINS** LICENSEE SIGNATURE:\_\_

**REGIONAL MUNICIPALITY OF WATERLOO** 

LICENCE No. PART LOT 32, CONCESSION 8 TOWNSHIP OF NORTH DUMFRIES (FORMER TOWNSHIP OF DUMFRIES)

Scale 1:2000 **Drawing Status** 

> SUBMITTED FOR LICENCE APPROVAL

Drawn SB Drawing Title

Checked RM

Issue Date SEPT 2025 Project Number

> 23-20 **Drawing Number**

REHABILITATION **PLAN**