




<div>ARCADIA HOME + DESIGN</div>	
<a href="http://www.arcadiadesign.ca">www.arcadiadesign.ca</a>	
Notes:	
Revisions:	
12.01.2025 - Issued for Minor Variance	
<div>The underside has reviewed and takes responsibility for this design, has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. QUALIFICATION INFORMATION Registered as a Designer as per Division C, Part 3 (3.2.4) of the Ontario Building Code.</div>	
<div>Arcadia Home Design Chris Machado</div>	<div><div> Signature</div><div>113256 45652 BCIN #</div></div>
Project:	
Detached Garage 9 Taylor Court, Cambridge, ON	
Permit No.: ---	
Sheet Title:	
Renderings	
Scale:	Sheet No.:
Date:	A1
12/1/2025	

Roof Plan Area (Not Shingle)	1016
Garage Area	900
Front Porch Area	
Rear Deck Area (incl. Stairs)	N/A
Footprint Area (Total)	1016

Second Floor Area	900
Main Floor Area (Footprint)	900

<b>Total Floor Area</b>	<b>1800</b>
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Arcadia Home Design  
Chris Machado  
Signature  
113256  
45652  
BCIN #

Project:  
**Detached Garage**  
**9 Taylor Court, Cambridge, ON**

Permit No.: ---

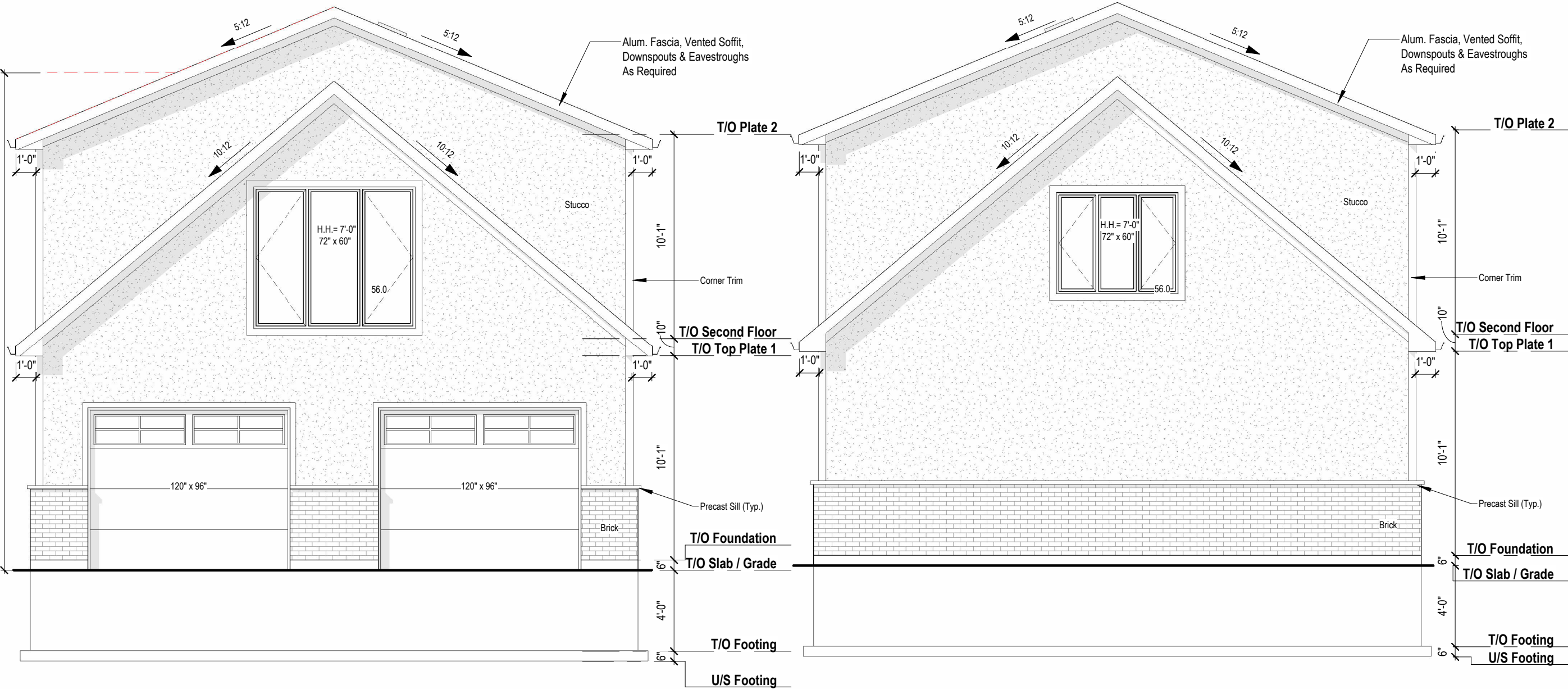
Sheet Title:  
**Front & Rear Elevation**

Scale: As indicated

Date: 12/1/2025

Sheet No.:

**A2**



**1**  
**A2**  
**FRONT ELEVATION**  
3/16" = 1'-0"

**2**  
**A2**  
**REAR ELEVATION**  
3/16" = 1'-0"

	Wall Area	Glazing Area
Front Elevation	634	30
Rear Elevation	634	30
Left Elevation	634	
Right Elevation	634	
Total	2536	60 (2.4%)



	Wall Area	Glazing Area
Front Elevation	634	30
Rear Elevation	634	30
Left Elevation	634	
Right Elevation	634	
Total	2536	60 (2.4%)

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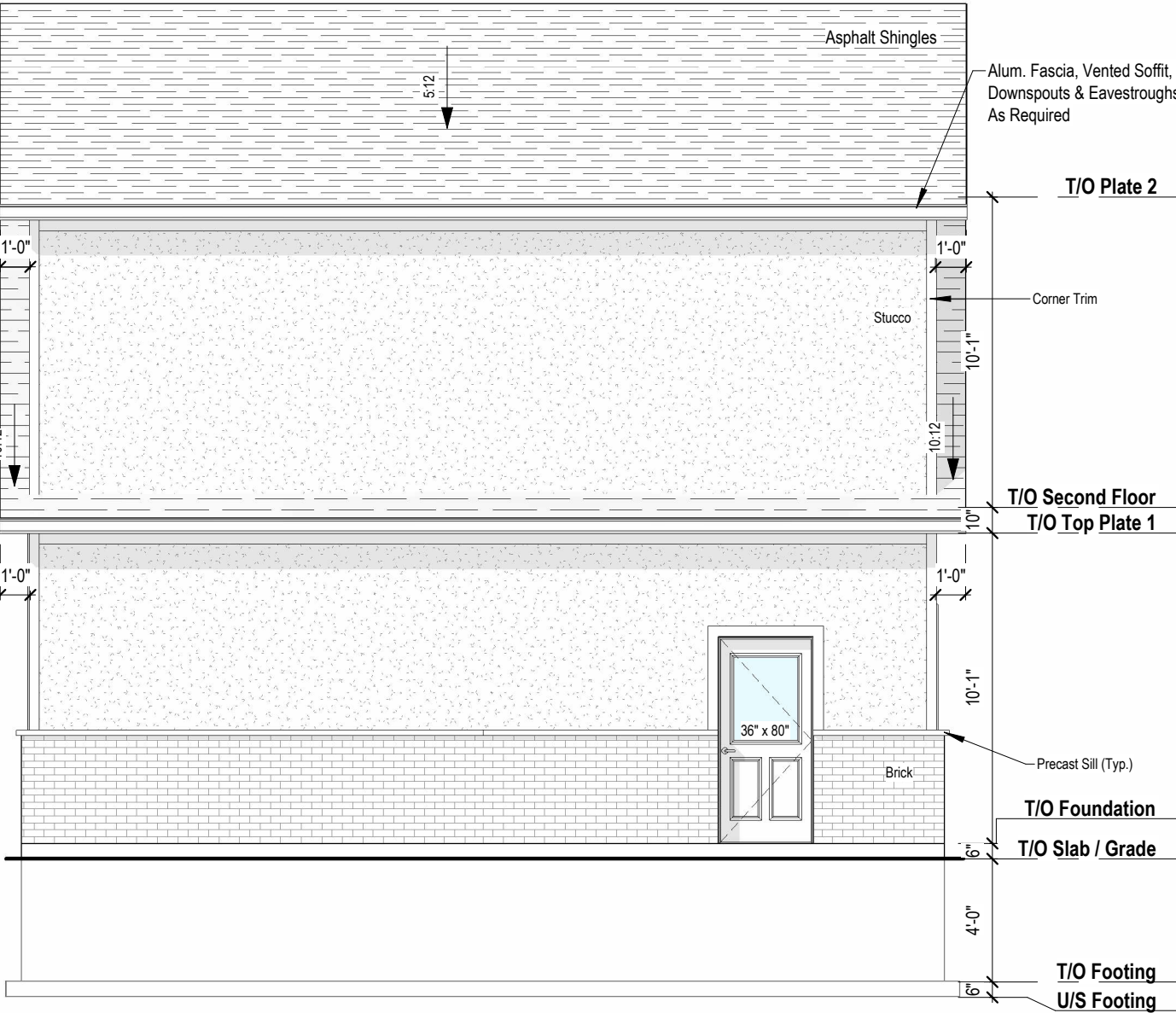
Sheet Title:  
**Left & Right Elevation**

Scale: As indicated

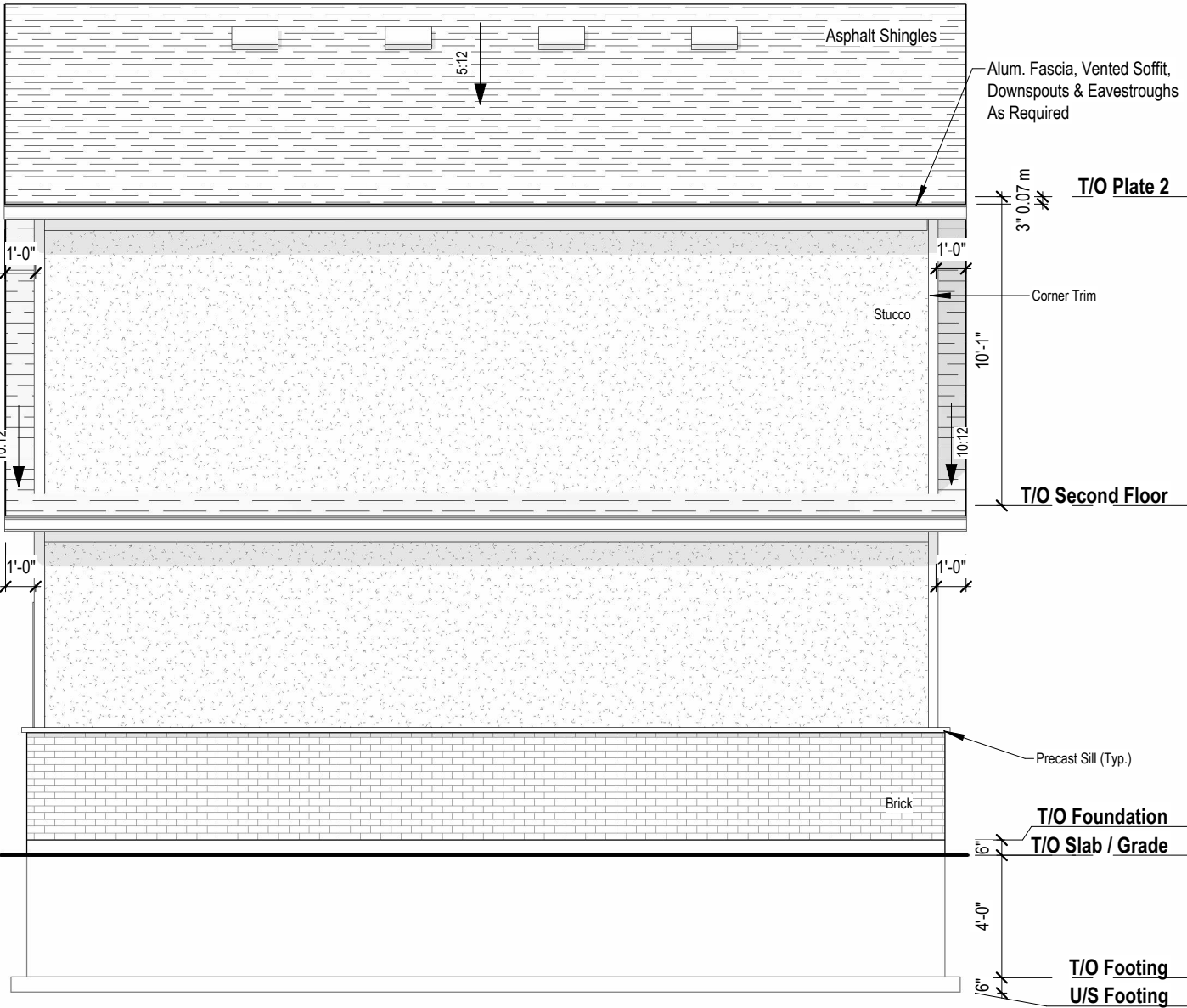
Date: 12/1/2025

Sheet No.:

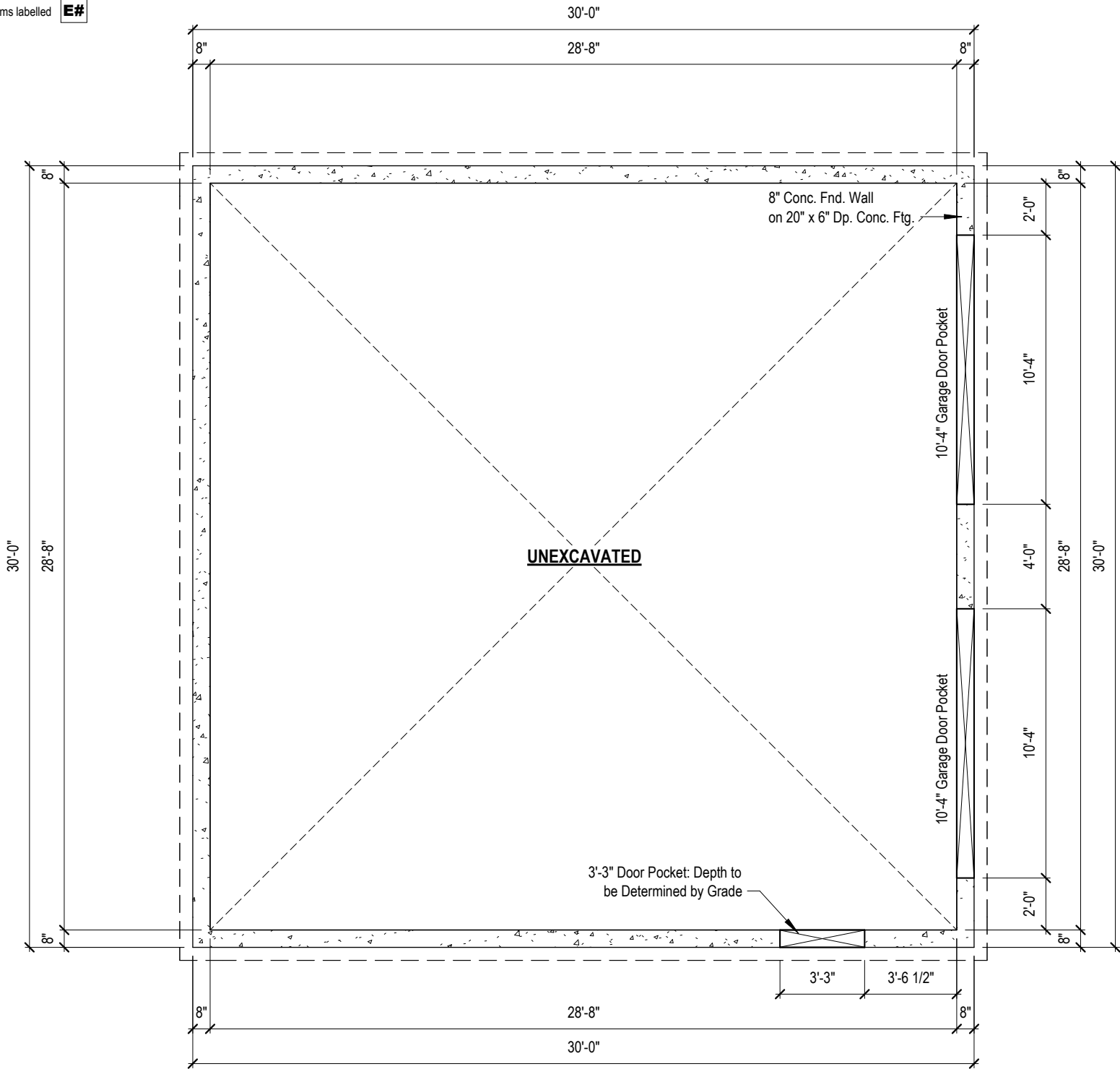
**A3**



**1**  
**A3** LEFT ELEVATION  
3/16" = 1'-0"



**2**  
**A3** RIGHT ELEVATION  
3/16" = 1'-0"



**1**  
**A4** **BASEMENT FLOOR PLAN**  
3/16" = 1'-0"

Second Floor Area  
Main Floor Area (Footprint)  
**Total Floor Area**

900  
900  
**1800**

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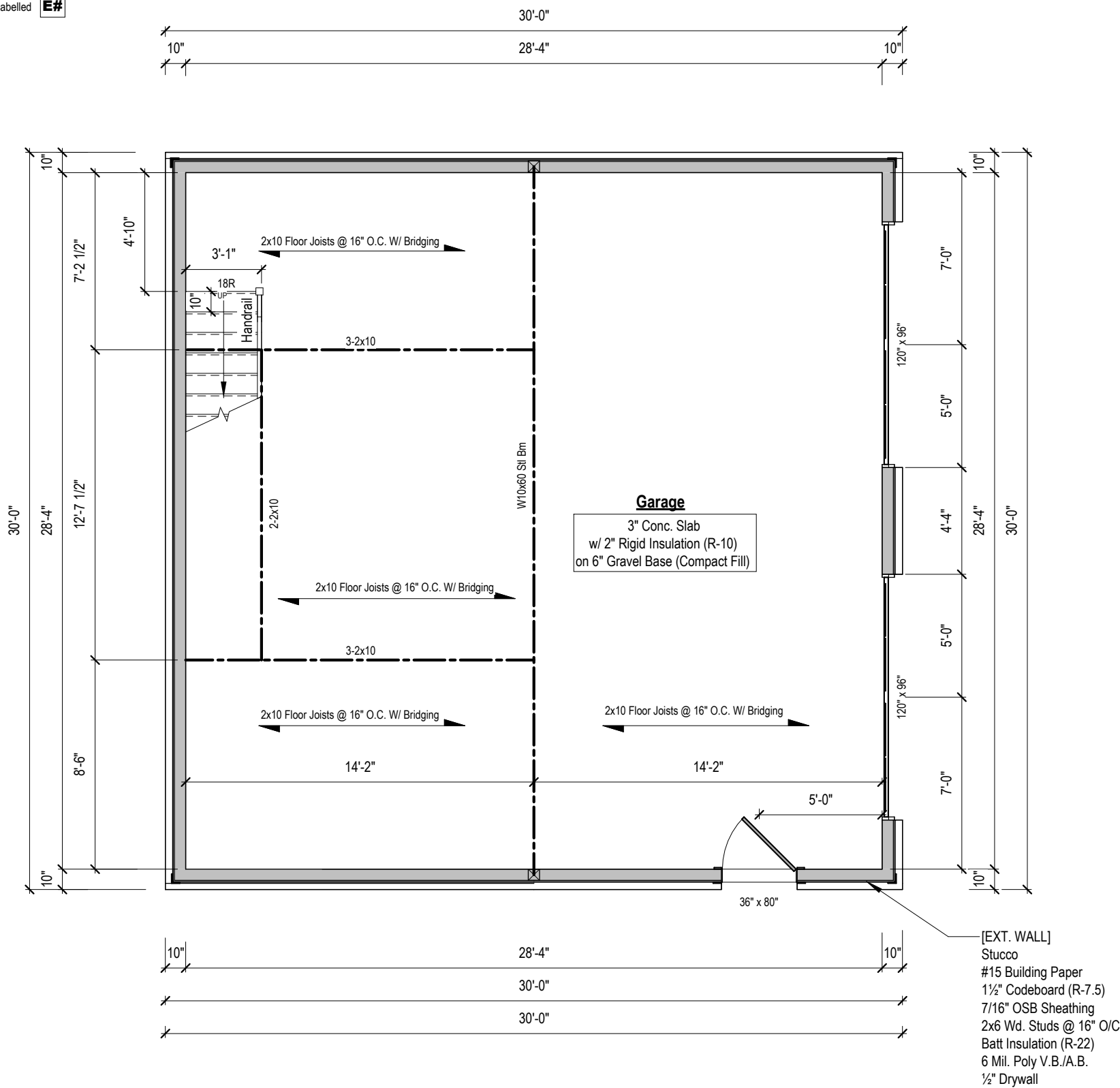
Permit No.: ---

Sheet Title:  
**Basement Floor Plan**

Scale: As indicated

Date: 12/1/2025

Sheet No.:  
**A4**



**1**  
**A5** **MAIN FLOOR PLAN**  
3/16" = 1'-0"

Second Floor Area  
Main Floor Area (Footprint)  
**Total Floor Area**

900  
900  
**1800**

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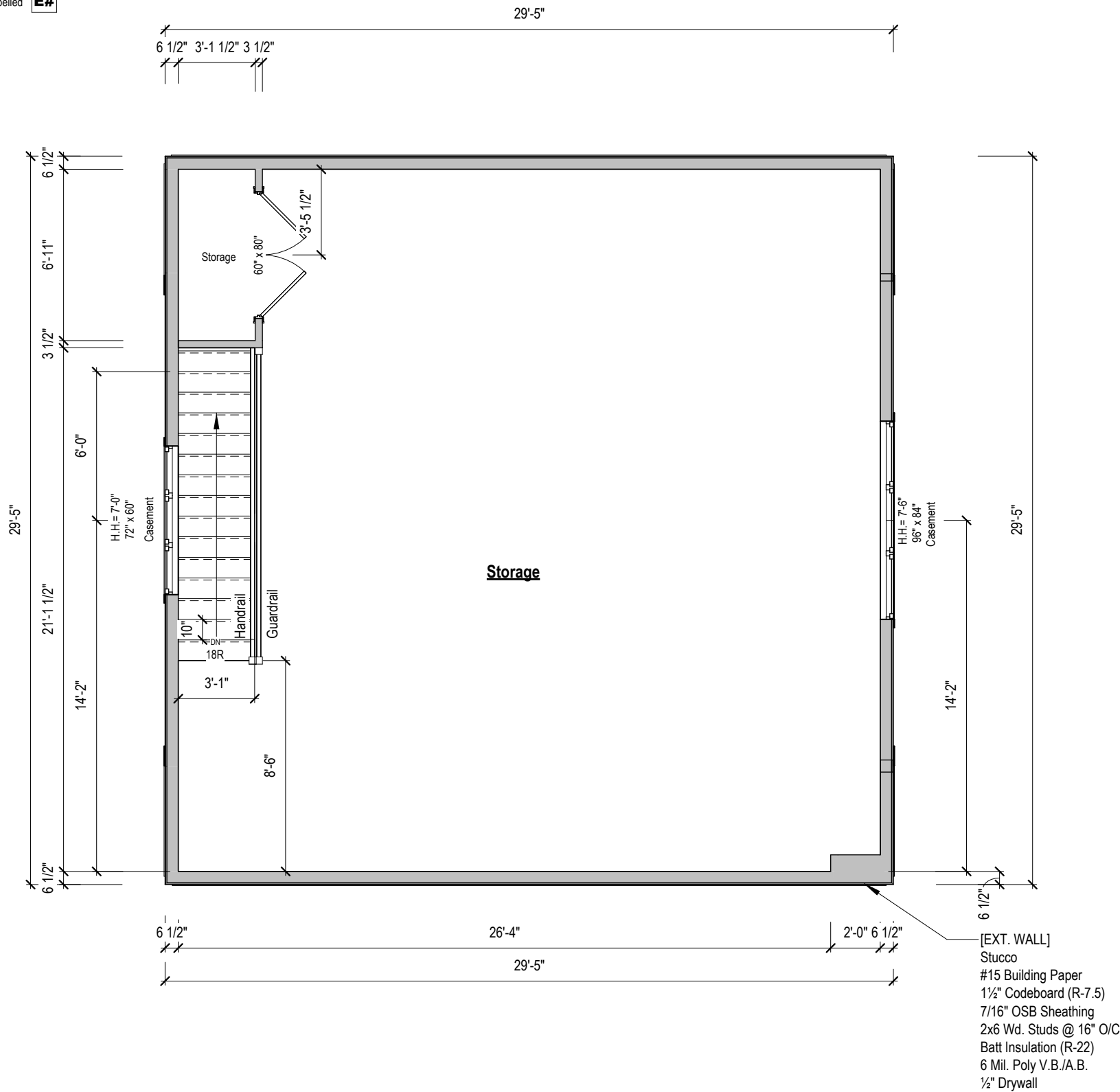
Project:  
**Detached Garage**  
**9 Taylor Court, Cambridge, ON**

Permit No.: ---

Sheet Title:  
**Main Floor Plan**

Scale: As indicated  
Date: 12/1/2025

Sheet No.:  
**A5**



1  
A6

SECOND FLOOR PLAN

3/16" = 1'-0"

Second Floor Area  
Main Floor Area (Footprint)

**Total Floor Area**

900  
900  
**1800**

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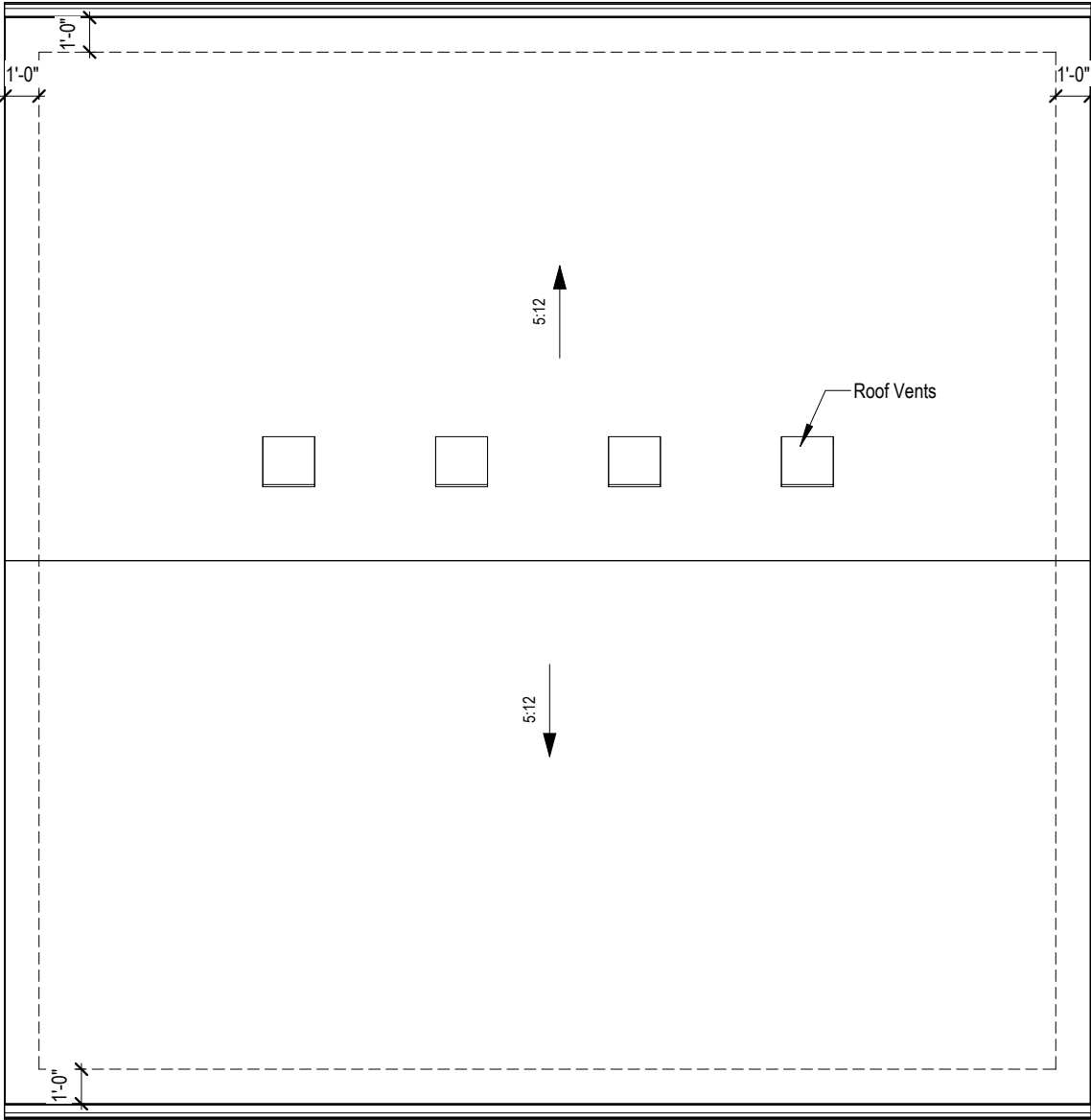
Permit No.: ---

Sheet Title:  
**Second Floor Plan**

Scale: As indicated

Date: 12/1/2025

Sheet No.:  
**A6**



1

A7

Roof Plan

3/16" = 1'-0"

[MAIN ROOF ASSEMBLY]  
Asphalt Shingles  
7/16" OSB Sheathing  
Engineered Roof Trusses @ 24" O/C  
(Scissor / Recessed / Raised, As per plan)  
Blown Insulation (R-60)  
6 Mil. Poly V.B./A.B.  
5/8" Drywall (or equal)

[BUILT-UP ROOF ASSEMBLY]  
Asphalt Shingles  
7/16" OSB Sheathing  
2x8 Ridge, Hip, Valley  
2x6 Rafters @ 16" O/C  
2x4 Collar Ties @ 16" O/C  
2x6 Ceiling Joists @ 16" O/C  
(See Plan)

Roof to be vented 1/300 of Attic Area

Second Floor Area  
Main Floor Area (Footprint)

**Total Floor Area**

900  
900

**1800**

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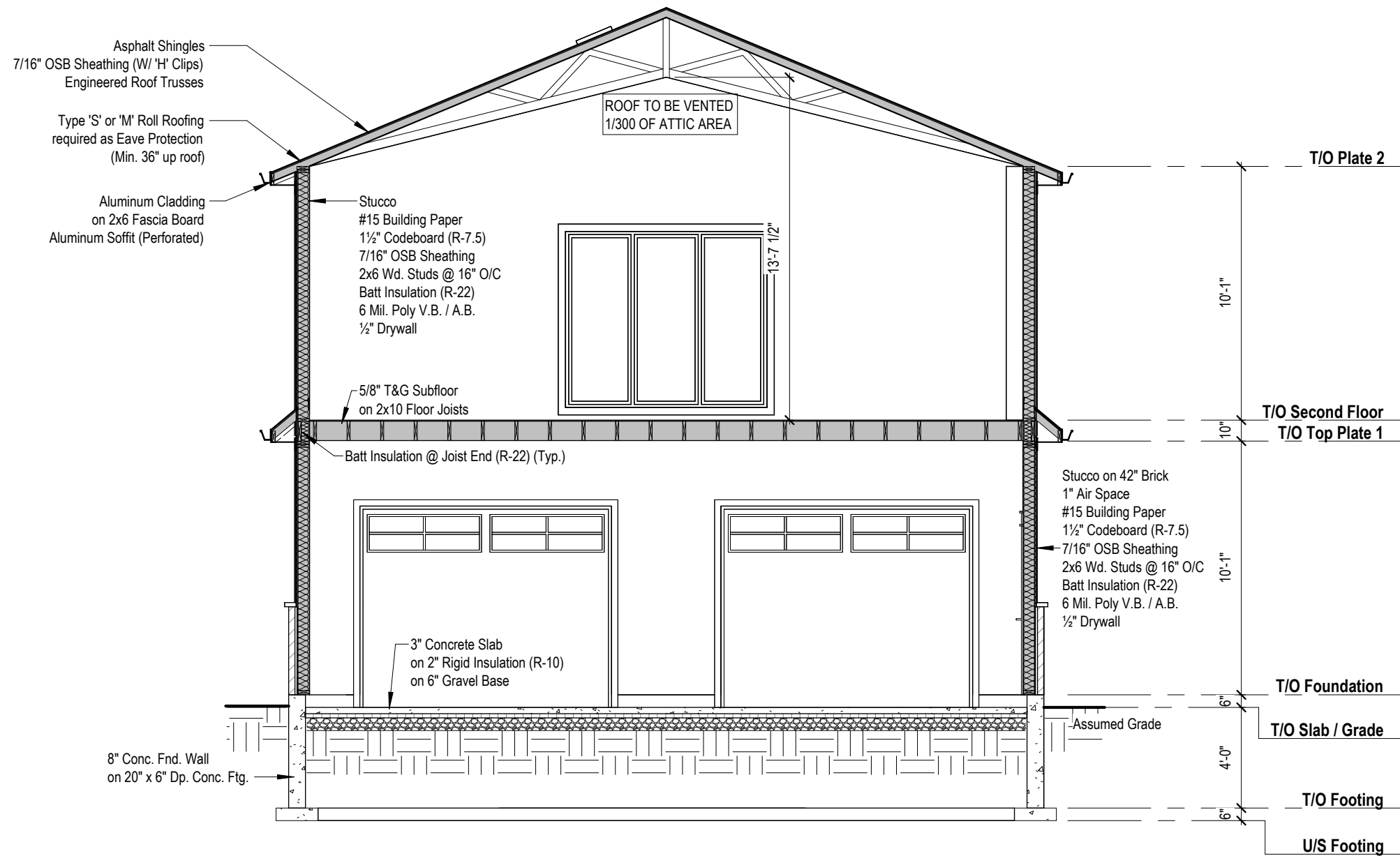
**Roof Plan**

Scale: As indicated

Date: 12/1/2025

Sheet No.:

**A7**




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Project:

**Detached Garage  
9 Taylor Court, Cambridge, ON**

Permit No.: ---

Sheet Title:

**Typical Wall Section**

Scale: 3/16" = 1'-0"

Date: 12/1/2025

Sheet No.:

**A8**



GENERAL NOTES

**\*\*THIS PAGE ONLY COVERS SOME BUILDING ELEMENTS, ALL WORK SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND/OR PROFESSIONAL ENGINEER- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS PLAN.**

DIMENSIONS

MAIN FLOOR EXTERIOR WALL DIMENSIONS ARE TAKEN FROM THE EXTERIOR EDGE OF FOUNDATION BELOW  
\*ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD EDGES\*

9.3. MATERIALS SYSTEMS & EQUIPMENT

9.3.1 CONCRETE

9.3.1.6. COMPRESSIVE STRENGTH

- (1) THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN
  - (a) 32 MPa FOR GARAGE FLOOR, CARPORT FLOORS, AND ALL EXTERIOR FLATWORK
  - (b) 20 MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES & CARPORTS
  - (c) 15 MPa FOR ALL OTHER APPLICATIONS

9.3.1.9. COLD WEATHER REQUIREMENTS

- (1) WHEN THE AIR TEMPERATURE IS BELOW 5°C, CONCRETE SHALL BE
  - (a) KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING MIXED & PLACED AND
  - (b) MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 72h AFTER PLACING

9.12 EXCAVATION

9.12.1.1 REMOVAL OF TOPSOIL AND ORGANIC MATTER

- (3) THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL

9.12.1.2. STANDING WATER

- (1) EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER

9.12.1.3. PROTECTION FROM FREEZING

- (1) THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD

9.12.2.1 EXCAVATION TO UNDISTURBED SOIL

- (1) EXCAVATIONS FOR FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL

9.13 DAMPPROOFING. WATERPROOFING AND SOIL GAS CONTROL

9.13.2.1 DAMPPROOFING

- (1) WHERE THE EXTERIOR FINISHED GROUND LEVEL IS AT A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE THE FOUNDATION WALLS, EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL SHALL BE DAMPPROOFED
- (4) DAMPPROOFING IN SENTANCE (1) IS NOT REQUIRED WHERE THE EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL ARE WATERPROOFED

9.15.3 FOOTINGS

9.15.3.2. SUPPORT OF FOOTING

- (1) FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL

9.15.3.9. STEP FOOTINGS

- (a) THE VERTICAL RISE BETWEEN HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24")
- (b) THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL NOT BE LESS THAN 24"

9.7 WINDOWS, DOORS & SKYLIGHTS

- 9.7.2.1.(2) - MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH,
  - (a) A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR
  - (b) A SIDELIGHT

TABLE 9.7.2.3.(1)

GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY

LOCATION	MIN UNOBSTRUCTED GLASS AREA WITH NO ELECTRIC LIGHTING	MIN UNOBSTRUCTED GLASS AREA WITH ELECTRIC LIGHTING
LAUNDRY, BASEMENT RECREATION ROOM, UNFINISHED BASEMENT	4% OF AREA SERVED	WINDOWS NOT REQUIRED
WATER CLOSET ROOM	0.37M <sup>2</sup> / 4 FT <sup>2</sup>	WINDOWS NOT REQUIRED
KITCHEN, KITCHEN SPACE OR KITCHEN ALCOVE	10% OF AREA SERVED	WINDOWS NOT REQUIRED
LIVING ROOMS & DINING ROOMS	10% OF AREA SERVED	10% OF AREA SERVED
BEDROOMS AND OTHER FINISHED ROOMS NOT MENTIONED ABOVE	5% OF AREA SERVED	5% OF AREA SERVED

(1)AREA OF THE SPACE SHALL BE MEASURED AT FLOOR LEVEL

9.7.5.2 RESISTANCE TO FORCED ENTRY

- (1) THIS ARTICLE APPLIES TO
  - (a) SWINGING ENTRANCE DOOR TO DWELLING UNITS
  - (b) SWINGING DOORS BETWEEN DWELLING UNITS AND ATTACHED GARAGES AND OTHER ANCILLARY SPACED, AND
  - (c) SWINGING DOORS THAT PROVIDE ACCESS DIRECTLY OR INDIRECTLY FROM A STORAGE GARAGE TO A DWELLING UNIT
- (4) DOORS DESCRIBED IN SENTENCE 1 SHALL BE PROVIDED WITH,
  - (a) A DEADBOLT LOCK WITH A CYLINDER HAVING NO FEWER THAN 5 PINS AND
  - (b) A BOLT THROW NOT LOSS THAN 25MM (1") LONG, PROTECTED WITH A SOLID OR HARDENED FREE TURNING RING OR BEVELED CYLINDER HOUSING

9.7.6.1 INSTALLATION OF WINDOWS DOORS & SKYLIGHTS

- (1)(a) SHIMS USED TO SUPPORT WINDOWS, DOORS AND SKYLIGHTS ARE PERMITTED TO BE OF TREATED PLYWOOD
- (3)WINDOWS, DOORS AND SKYLIGHTS SHALL BE SEALED TO AIR BARRIERS AND VAPOUR BARRIERS

9.8 STAIRS, STEPS, RAMPS, LANDINGS, HANDRAILS AND GUARDS

9.8.2.1 STAIR WIDTH

- (4) AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT AND EXTERIOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT SHALL HAVE A WIDTH OF NOT LESS THAN 860mm (2'-10")

9.8.2.2 HEIGHT OVER STAIRS

- (3) THE CLEAR HEIGHT OVER STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT SHALL NOT BE LESS THAN 1950mm (6'-4 3/4")

TABLE 9.8.4.1

RISE FOR RECTANGULAR TREADS, TAPERED TREADS AND WINDERS AND RUN FOR RECTANGULAR TREADS

STAIR TYPE	MAX RISE FOR ALL STEPS	MIN RISE FOR ALL STEPS	MAX RUN FOR RECTANGULAR TREADS	MIN RUN FOR RECTANGULAR TREADS
PRIVATE STAIRS (HOUSES)	200mm / 7 7/8"	125mm / 5"	355mm / 14"	255mm / 10"
STAIRS TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT
STAIRS TO CRAWL SPACES	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT

9.8.4.4.UNIFORMITY AND TOLERANCES FOR RISERS, RUNS, TREADS

- (1) RISERS SHALL BE OF UNIFORM HEIGHT IN ANY ONE FLIGHT

9.8.6.3. DIMENSIONS OF LANDINGS

- (1)(a) LANDINGS SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE STAIR OR RAMP IN WHICH THEY OCCUR, AND
- (b) AT LEAST AS LONG AS THE WIDTH OF THE STAIR OR RAMP IN WHICH THEY OCCUR

9.8.7.1 REQUIRED HANDRAILS

- (3) A HANDRAIL IS NOT REQUIRED FOR STAIRS AND RAMPS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, WHERE
  - (a) INTERIOR STAIRS HAVE NOT MORE THAN 2 RISERS
  - (b) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS
  - (c) RAMPS RISE NOT MORE THAN 400mm (1'-3 3/4")

9.8.7.2 CONTINUITY OF HANDRAILS

- (2) FOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT, AT LEAST ONE REQUIRED HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP, EXCEPT WHERE INTERRUPTED BY,
  - (a) DOORWAYS,
  - (b) LANDINGS, OR
  - (c) NEWEL POSTS AT CHANGES IN DIRECTION

9.8.7.4. HEIGHT OF HANDRAILS

- (2) HANDRAILS SHALL BE 865mm (34") TO 1070mm (42") HIGH

9.7.8.5. ERGONOMIC DESIGN

- (2) ALL HANDRAILS SHALL BE CONSTRUCTED SO AS TO BE CONTINUALLY GRASPABLE ALONG THEIR LENGTH WITH NO OBSTRUCTION ON OR ABOVE THEM TO BREAK A HANDHOLD

9.8.7.7. PROJECTIONS INTO STAIRS OR RAMPS

- (1) HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING HANDRAIL SUPPORTS AND STAIR STRINGERS SHALL NOT PROJECT MORE THEN 100mm (4") INTO THE REQUIRED WIDTH OF THE STAIR

9.8.8.1. REQUIRED GUARDS

- (1)EVERY SURFACE TO WHICH ACCESS ID PROVIDED, INCLUDING BUT NOT LIMITED TO FLIGHTS, RAMPS, EXTERIOR LANDINGS, PORCHES, BALCONIES, MEZZANINES, GALLERIES AND RAISED WALKWAYS, SHALL BE PROTECTED BY A GUARD ON EACH SIDE THAT IS NOT PROTECTED BY A WALL FOR THE LENGTH WHERE,
  - (a) THERE IS A DIFFERENCE IN ELEVATION OR MORE THAN 600mm (1'-11 5/8") BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE

9.8.8.3. HEIGHT OF GUARDS

- (1) EXCEPT AS PROVIDED BY SENTENCES (2) AND (3), ALL GUARDS SHALL BE NOT LESS THAN 1070mm (42") HIGH
- (2) ALL GUARDS WITHIN DWELLING UNITS SHALL NOT BE LESS THAN 900mm (35 1/2") HIGH
- (3) EXTERIOR GUARDS SERVING A HOUSE OR DWELLING UNIT SHALL BE NOT LESS THAN 900mm (35 1/2") WHERE THE WALKING SURFACE SERVED BY THE GUARD IS NOT MORE THAN 1 800mm (5'-11") ABOVE FINISHED GROUND LEVEL

9.8.8.5 OPENINGS IN GUARDS

- (1) OPENINGS IN GUARDS SHALL BE OF A SIZE THAT PREVENTS THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 400mm (4")

9.8.8.6. GUARDS DESIGNED NOT TO FACILITATE CLIMBING

- (1) GUARDS SHALL BE DESIGNED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 140mm (5 1/2") AND 900mm35 1/2" ABOVE THE FLOOR OR WALKING SURFACE PROTECTED BY THE GUARD WILL FACILITATE CLIMBING

9.23. WOOD FRAME CONSTRUCTION

9.23.5. NOTCHING & DRILLING

9.23.5.1. HOLES DRILLED IN FRAMING MEMBERS

- (1) HOLES DRILLED IN ROOF, FLOOR OR CEILING FRAMING MEMBERS SHALL NOT BE LARGER THAN 1/4 DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED LESS THAN 50mm (2") FROM THE EDGES

9.23.5.3. WALL STUDS

- (1) WALL STUDS SHALL NOT BE NOTCHED DRILLED OR OTHERWISE DAMAGED SO THAT THE UNDAMAGED PORTION OF THE STUD IS LESS THAN 2/3 THE DEPTH OF THE STUD IF THE STUD IS LOAD BEARING OR 40mm (1 1/2") IF THE STUD IS NON-LADDERING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED

9.23.5.4. TOP PLATES

- (1) TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UNDAMAGED WIDTH TO LESS THAN 50mm (2") UNLESS THE WEAKENED PLATES ARE SUITABLE REINFORCED

9.23.5.5. ROOF TRUSSES

- (1) ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED UNLESS SUCH NOTCHING OR DRILLING IS ALLOWED FOR IN THE DESIGN OF THE TRUSS

9.23.8. BEAMS TO SUPPORT FLOORS

9.23.8.1. BEARING FOR BEAMS

- (1) BEAMS SHALL HAVE AN EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 89mm (3 1/2") LENGTH OF BEARING AT END SUPPORTS

9.23.8.3. BUILT UP WOOD BEAMS

- (7) EXCEPT AS PROVIDED IN SENTENCE (8) WHERE 38mm (1 1/2") MEMBERS ARE LAID ON EDGE TO FORM A BUILT UP BEAM, INDIVIDUAL MEMBERS SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THA 89mm (3 1/2") IN LENGTH, SPACED NOT MORE THAN 450mm (17 1/2") APART IN EACH ROW WITH END NAILS LOCATED 100mm (4") TO 150mm (6") FROM THE END OF EACH PIECE
- (8) WHERE 38mm (1 1/2") MEMBERS IN BUILT UP WOOD BEAMS ARE NOT NAILED TOGETHER AS PROVIDED IN SENTANCE (7), THEY SHALL BE BOLTED TOGETHER WITH NOT LESS THAN 12.7mm (1/2") DIA BOLTS EQUIPPED WITH WASHERS AND SPACED NOT MORE THAN 1.2m (3'-11") O.C. WITH THE END BOLTS LOCATED NOT MORE THAN 600mm (1'-11") FROM THE END MEMBERS

9.23.9 FLOOR JOISTS

9.23.9.1 END BEARING FOR JOISTS

- (1) FLOOR JOISTS SHALL HAVE NOT LESS THAN 38mm (1 1/2") OF END BEARING

9.23.9.2. JOISTS SUPPORTED BY BEAMS

- (2) WHEN FRAMED INTO THE SIDE OF A WOOD BEAM, JOISTS SHALL BE SUPPORTED ON
  - (a) JOIST HANGERS
- (3) WHEN FRAMED INTO THE SIDE OF A STEEL BEAM, JOISTS SHALL BE SUPPORTED ON THE BOTTOM FLANGE OF THE BEAM OR ON NOT LESS THAN 38mm (1 1/2") LUMBER BOLTED TO THE WEB WITH NOT LESS THAN 6.3mm (1/4") BOLTS SPACED NOT MORE THAN 600mm 23 1/2" APART

9.5 DESIGN OF AREAS, SPACES. & DOORWAYS

TABLE 9.5.3.1.  
ROOM CEILING HEIGHTS

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM OR SPACE, DINING ROOM OR SPACE, KITCHEN OR KITCHEN SPACE	7'-6 1/2" OVER 75% OF THE REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-10 1/2" AT ANY POINT OVER THE REQUIRED AREA
BEDROOM OR BEDROOM SPACE	7'-6 1/2" OVER AT LEAST 50% OF THE REQUIRED AREA OR 6'-10 1/2" OVER ALL OF THE REQUIRED AREA. ANY PART OF THE FLOOR AREA HAVING A CLEAR HEIGHT OF LESS THAN 4'-7" SHALL NOT BE CONSIDERED IN COMPUTING THE REQUIRED FLOOR AREA
BASEMENT SPACE	6'-10 1/2" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-4 3/4"
BATHROOM, WATER CLOSET ROOM OR LAUNDRY AREA ABOVE GRADE	6'-10 1/2" IN ANY AREA WHERE A PERSON WOULD NORMALLY BY IN A STANDING POSITION
PASSAGE, HALL OR MAIN ENTRANCE VESTIBULE AND FINISHED ROOMS NOT SPECIFICALLY MENTIONED ABOVE	6'-10 1/2"

9.31. PLUMBING FACILITIES

9.31.4.1 REQUIRED FACILITIES

- (a) A KITCHEN SINK
- (b) A LAVATORY
- (c) A BATHTUB OR SHOWER STALL AND
- (d) A WATER CLOSET OR A DRAIN-LESS COMPOSTING TOILET

9.31.4.2. LAUNDRY FACILITIES

- (1) LAUNDRY FACILITIES OR A SPACE FOR LAUNDRY FACILITIES SHALL BE PROVIDED IN EVERY DWELLING UNIT OR GROUPED ELSEWHERE IN THE BUILDING IN A LOCATION CONVENIENTLY ACCESSIBLY TO OCCUPANTS OF EVERY DWELLING UNIT

9.31.4.4. FLOOR DRAINS

- (1) FLOOR DRAINS SHALL BE INSTALLED IN A BASEMENT FORMING PART OF A DWELLING UNIT



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**Detached Garage  
9 Taylor Court, Cambridge, ON**

Permit No.: ---

Sheet Title:

**Notes**

Scale: 1/4" = 1'-0"

Date: 12/1/2025

Sheet No.:

**A9**