

Notes:



Revisions:

12.01.2025 - Issued for Minor Variance

The undersigned has reviewed and takes responsibility for this design, has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
QUALIFICATION INFORMATION  
Registered as a Designer as per Division C, Part 3 (3.2.4) of the Ontario Building Code.

Arcadia Home Design  
Chris Machado  
Name \_\_\_\_\_  
Signature \_\_\_\_\_  
BON # 45652

Project:  
**Detached Garage**  
**9 Taylor Court, Cambridge, ON**

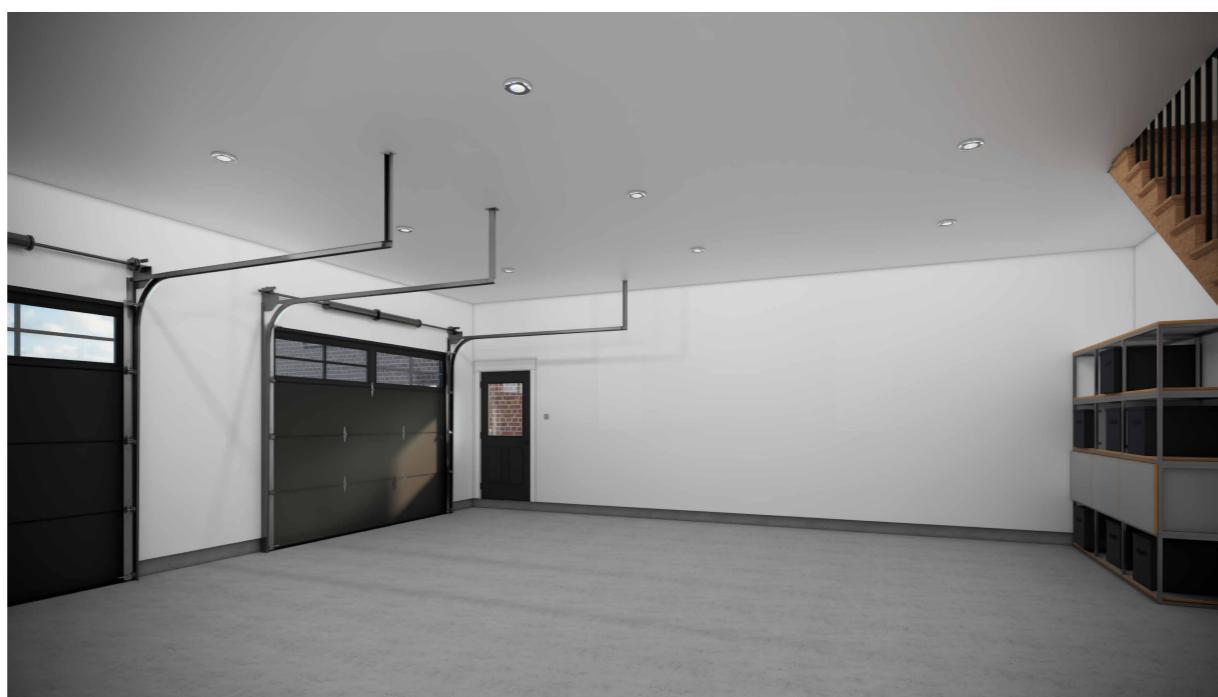
Permit No.: ---

Sheet Title:  
**Renderings**

Scale: \_\_\_\_\_

Date: 12/1/2025

**A1**



Roof Plan Area (Not Shingle)	1016
Garage Area	900
Front Porch Area	
Rear Deck Area (incl. Stairs)	N/A
Footprint Area (Total)	1016

Second Floor Area	900
Main Floor Area (Footprint)	900

**Total Floor Area** 1800

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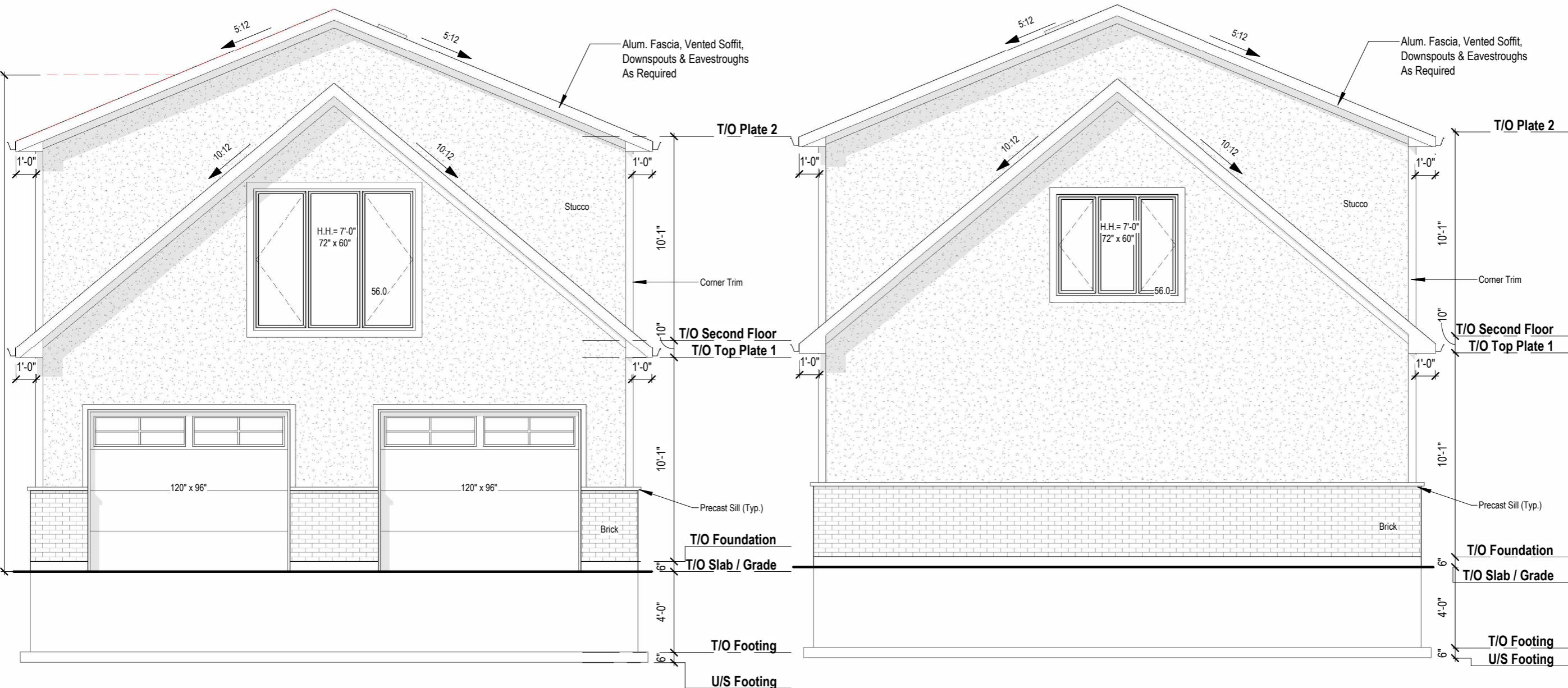
Permit No.: ---

Sheet Title:  
Front & Rear Elevation

Scale: As indicated  
Sheet No.:

Date: 12/1/2025

**A2**



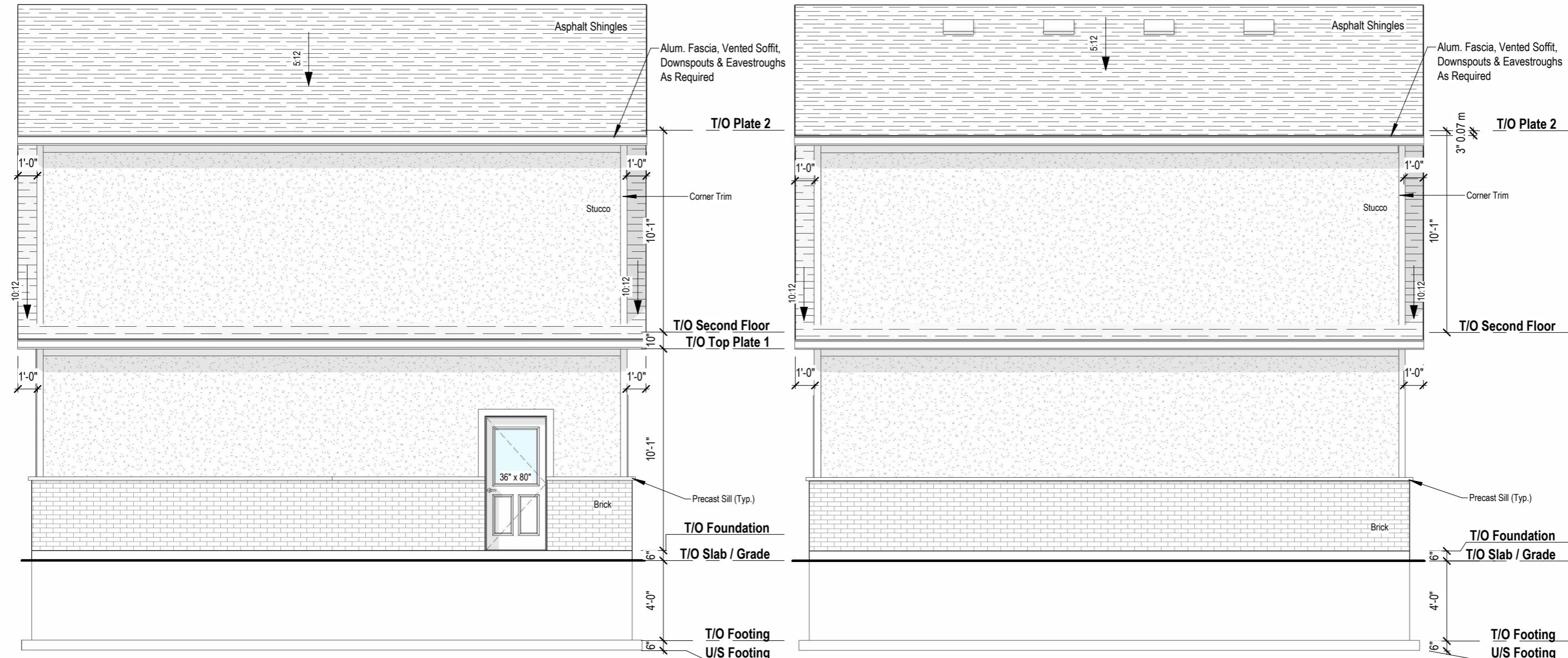
**FRONT ELEVATION**  
1  
A2  
3/16" = 1'-0"

**REAR ELEVATION**  
2  
A2  
3/16" = 1'-0"

	Wall Area	Glazing Area
Front Elevation	634	30
Rear Elevation	634	30
Left Elevation	634	
Right Elevation	634	
Total	2536	60 (2.4%)

	Wall Area	Glazing Area
Front Elevation	634	30
Rear Elevation	634	30
Left Elevation	634	
Right Elevation	634	
Total	2536	60 (2.4%)

Notes:



1  
A3  
LEFT ELEVATION  
3/16" = 1'-0"

2  
A3  
RIGHT ELEVATION  
3/16" = 1'-0"

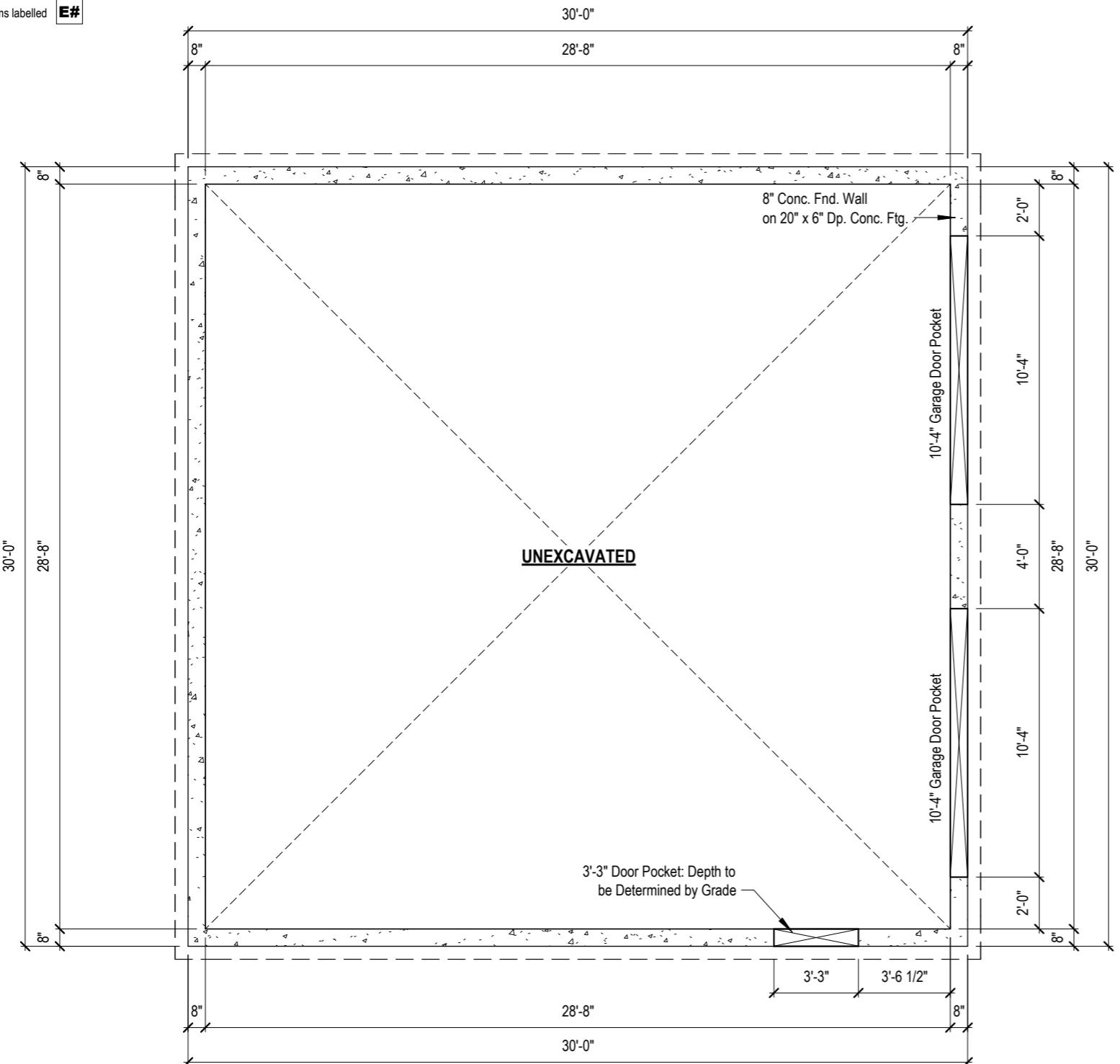
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Signature: \_\_\_\_\_  
113256  
45652  
BON #:

Project:  
Detached Garage  
9 Taylor Court, Cambridge, ON

Permit No.: ---  
Sheet Title:  
Left & Right Elevation  
Scale: As indicated  
Date: 12/1/2025  
Sheet No.: A3


**1**  
**A4**  
**BASEMENT FLOOR PLAN**

3/16" = 1'-0"

**ARCADIA**  
 HOME + DESIGN

www.arcadiadesign.ca

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**Detached Garage**  
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Sheet Title:  
**Basement Floor Plan**
 Second Floor Area  
 Main Floor Area (Footprint)

900

900

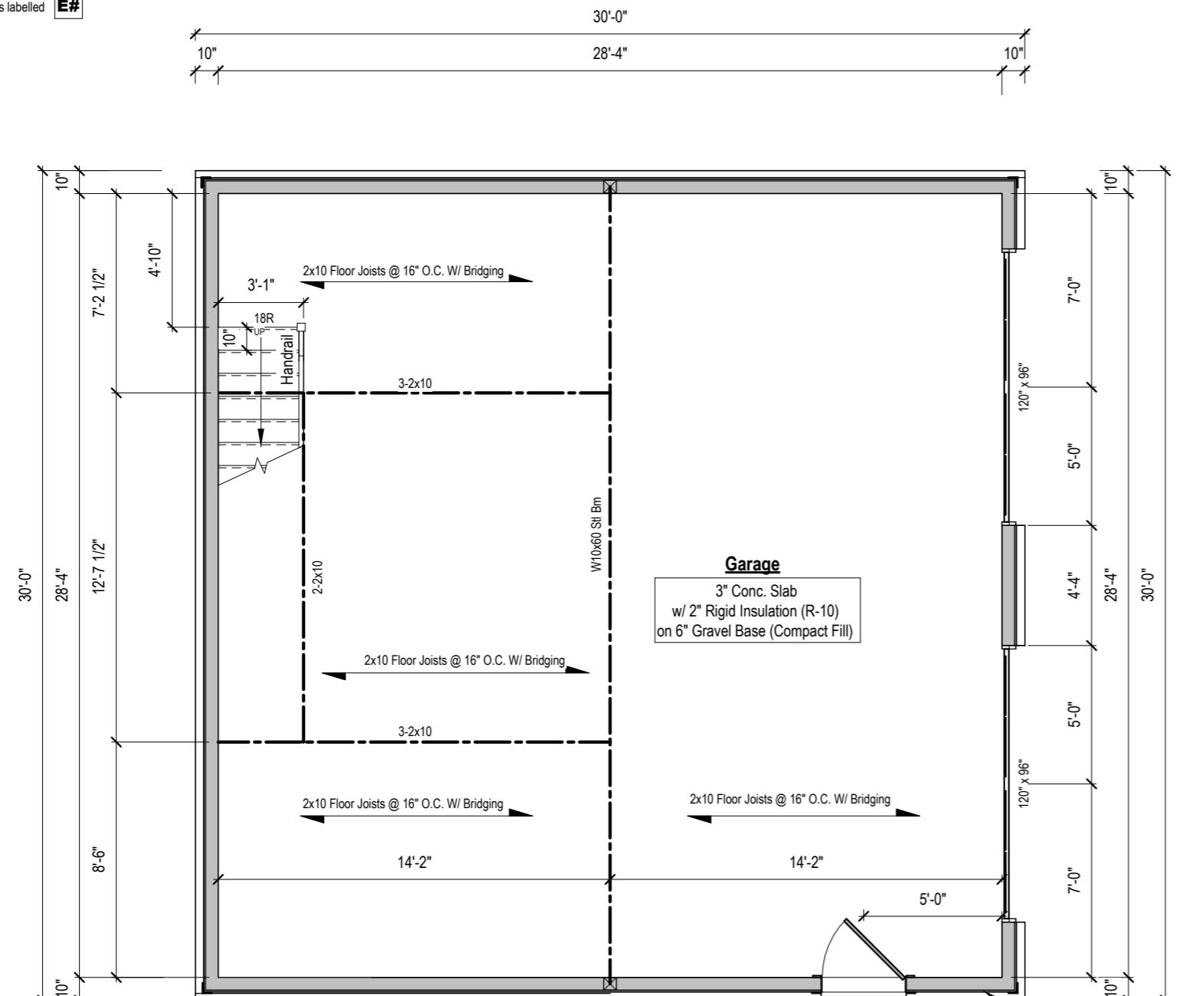
**Total Floor Area**

1800

Scale: As indicated

Date: 12/1/2025

**A4**



1  
A5

### MAIN FLOOR PLAN

3/16" = 1'-0"

ARCADIA  
HOME + DESIGN

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45652  
BON #:

Project:  
Detached Garage  
9 Taylor Court, Cambridge, ON

Permit No.: ---

Sheet Title:  
**Main Floor Plan**

Second Floor Area  
Main Floor Area (Footprint)

900

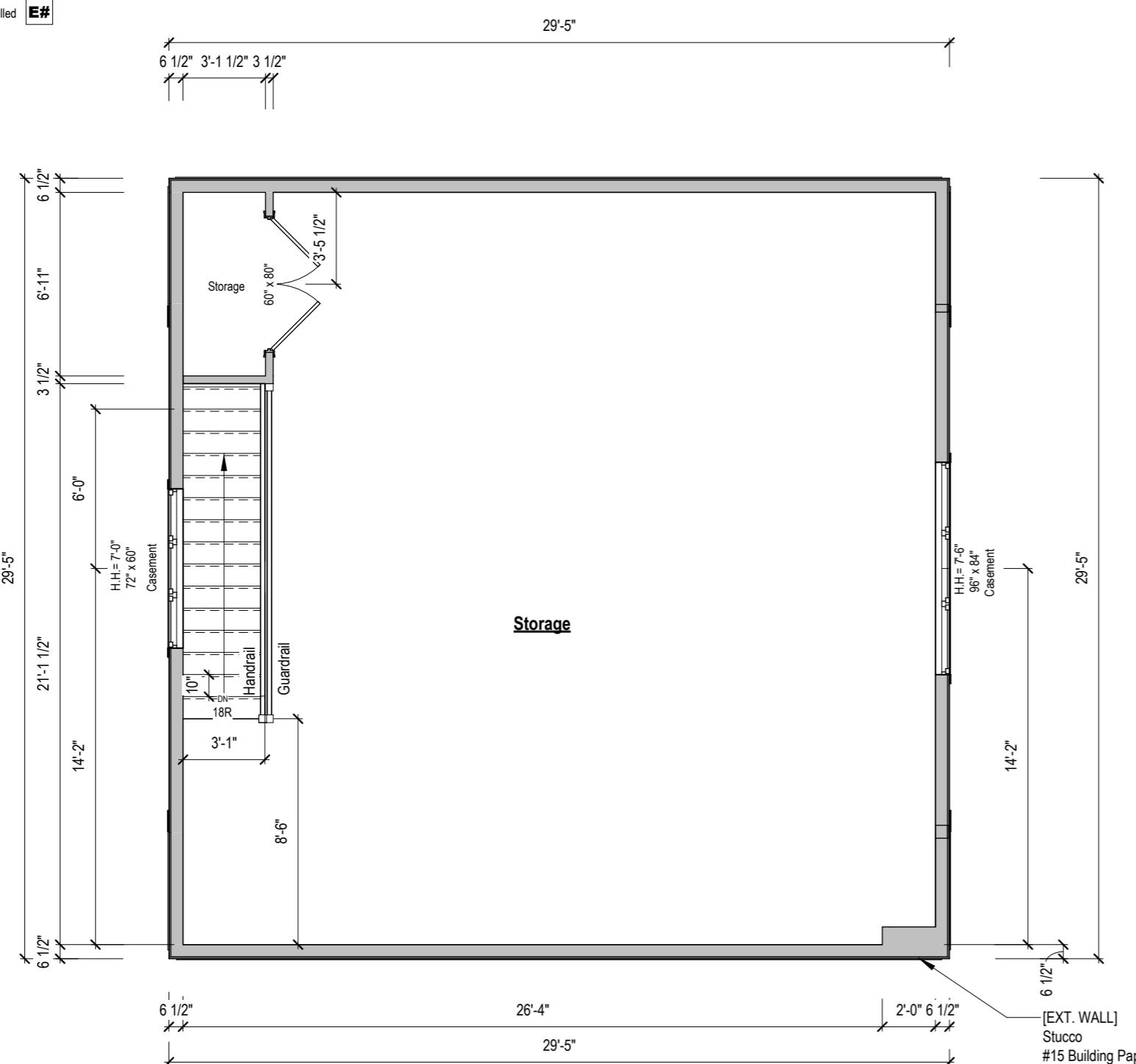
900

**Total Floor Area**

1800

Scale: As indicated  
Date: 12/1/2025

**A5**

ARCADIA  
HOME + DESIGN

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Permit No.: ---

Sheet Title:  
**Second Floor Plan**

Second Floor Area  
Main Floor Area (Footprint)

900

900

**Total Floor Area**

1800

Scale: As indicated

Sheet No.: A6

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BON #

Project:  
**Detached Garage**  
**9 Taylor Court, Cambridge, ON**

Permit No.: ---

Sheet Title:  
**Roof Plan**

900

900

Scale: As indicated

Sheet No.:

12/1/2025

**A7**

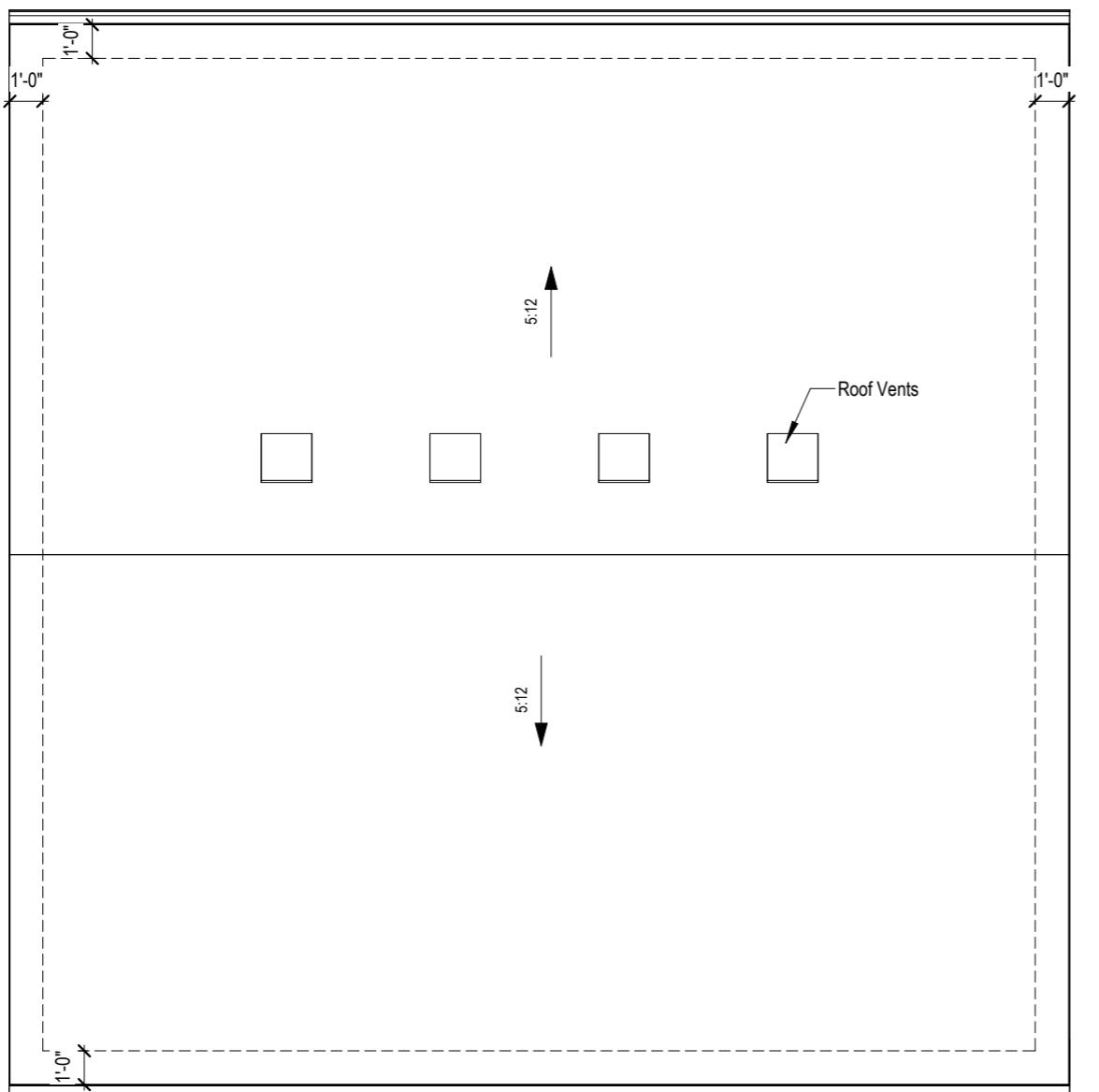
Second Floor Area  
Main Floor Area (Footprint)

**Total Floor Area**

900

900

1800

**1****A7**

3/16" = 1'-0"

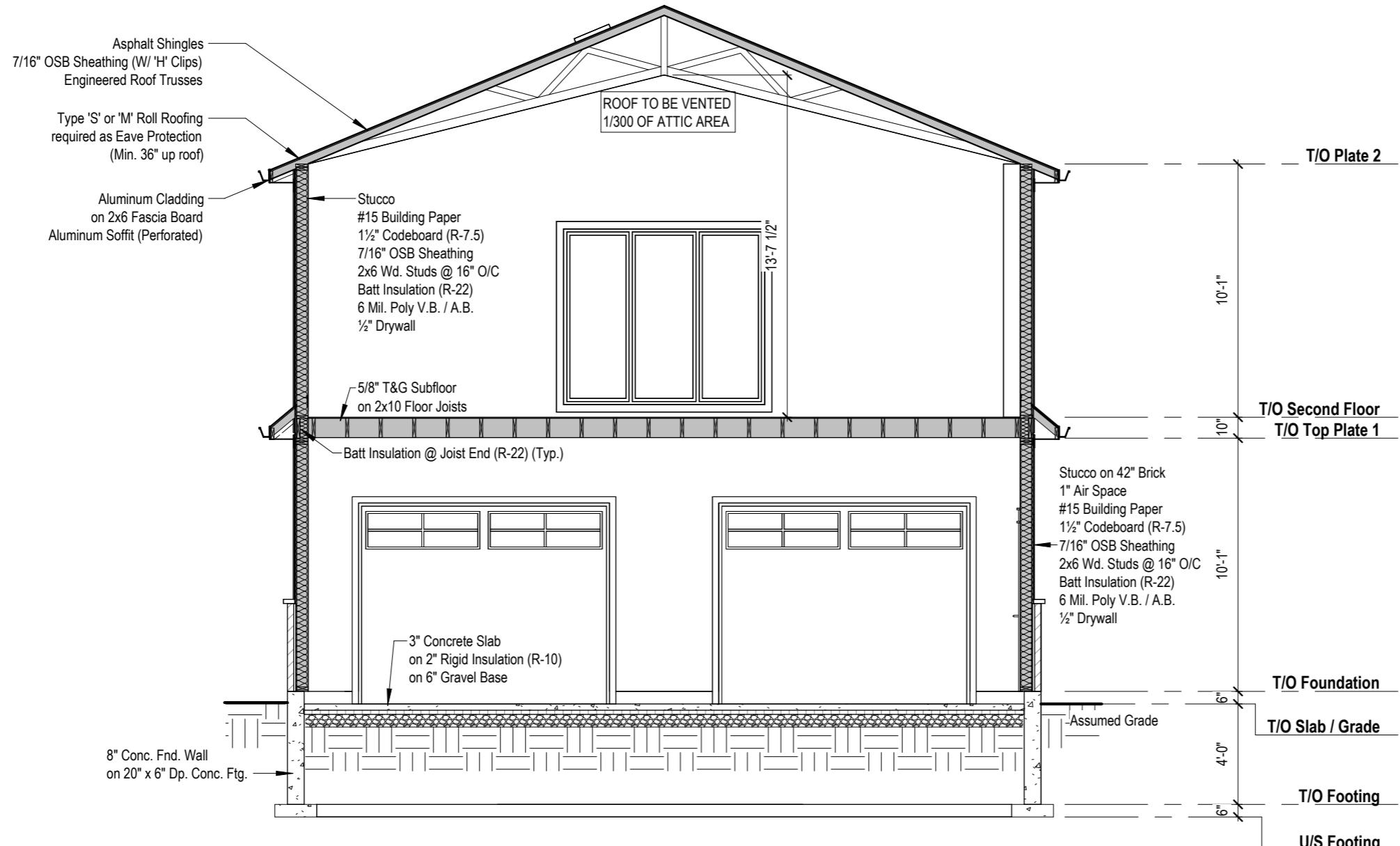
**Roof Plan**

[MAIN ROOF ASSEMBLY]	
Asphalt Shingles	[BUILT-UP ROOF ASSEMBLY]
7/16" OSB Sheathing	Asphalt Shingles
Engineered Roof Trusses @ 24" O/C	7/16" OSB Sheathing
(Scissor / Recessed / Raised, As per plan)	2x8 Ridge, Hip, Valley
Blown Insulation (R-60)	2x6 Rafters @ 16" O/C
6 Mil. Poly V.B./A.B.	2x4 Collar Ties @ 16" O/C
5/8" Drywall (or equal)	2x6 Ceiling Joists @ 16" O/C
	(See Plan)

[BUILT-UP ROOF ASSEMBLY]	
Asphalt Shingles	
7/16" OSB Sheathing	
Engineered Roof Trusses @ 24" O/C	
(Scissor / Recessed / Raised, As per plan)	
Blown Insulation (R-60)	
6 Mil. Poly V.B./A.B.	
5/8" Drywall (or equal)	

Roof to be vented 1/300 of Attic Area

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Project:  
Detached Garage  
9 Taylor Court, Cambridge, ON

Permit No.: ---

Sheet Title:  
Typical Wall Section

Scale: 3/16" = 1'-0"  
Date: 12/1/2025  
Sheet No.: A8

## GENERAL NOTES

\*\*THIS PAGE ONLY COVERS SOME BUILDING ELEMENTS, ALL WORK SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND/OR PROFESSIONAL ENGINEER- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS ON THIS PLAN.

## DIMENSIONS

MAIN FLOOR EXTERIOR WALL DIMENSIONS ARE TAKEN FROM THE EXTERIOR EDGE OF FOUNDATION BELOW  
\*ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD EDGES\*

## 9.3. MATERIALS SYSTEMS & EQUIPMENT

### 9.3.1 CONCRETE

#### 9.3.1.6. COMPRESSIVE STRENGTH

- (1) THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN
  - (a) 32 MPa FOR GARAGE FLOOR, CARPORT FLOORS, AND ALL EXTERIOR FLATWORK
  - (b) 20 MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES & CARPORTS
  - (c) 15 MPa FOR ALL OTHER APPLICATIONS

#### 9.3.1.9. COLD WEATHER REQUIREMENTS

- (1) WHEN THE AIR TEMPERATURE IS BELOW 5°C, CONCRETE SHALL BE
  - (a) KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING MIXED & PLACED AND
  - (b) MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 72h AFTER PLACING

## 9.12 EXCAVATION

### 9.12.1. REMOVAL OF TOPSOIL AND ORGANIC MATTER

- (3) THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL

### 9.12.1.2. STANDING WATER

- (1) EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER

### 9.12.1.3. PROTECTION FROM FREEZING

- (1) THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD

### 9.12.2.1 EXCAVATION TO UNDISTURBED SOIL

- (1) EXCAVATIONS FOR FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL

## 9.13 DAMPROOFING, WATERPROOFING AND SOIL GAS CONTROL

### 9.13.2.1 DAMPROOFING

- (1) WHERE THE EXTERIOR FINISHED GROUND LEVEL IS AT A HIGHER ELEVATION THAN THE GROUND LEVEL INSIDE THE FOUNDATION WALLS, EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL SHALL BE DAMPROOFED
- (4) DAMPROOFING IN SENTENCE (1) IS NOT REQUIRED WHERE THE EXTERIOR SURFACES OF FOUNDATION WALLS BELOW GROUND LEVEL ARE WATERPROOFED

## 9.15.3 FOOTINGS

### 9.15.3.2. SUPPORT OF FOOTING

- (1) FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, ROCK, OR COMPACTED GRANULAR FILL

### 9.15.3.9. STEP FOOTINGS

- (a) THE VERTICAL RISE BETWEEN HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24")
- (b) THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL NOT BE LESS THAN 24"

## 9.7 WINDOWS, DOORS & SKYLIGHTS

9.7.2.1.(2) - MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH,
 

- (a) A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR
- (b) A SIDELIGHT

**TABLE 9.7.2.3.(1)**  
**GLASS AREAS FOR ROOMS OF RESIDENTIAL OCCUPANCY**

LOCATION	MIN UNOBSTRUCTED GLASS AREA WITH NO ELECTRIC LIGHTING	MIN UNOBSTRUCTED GLASS AREA WITH ELECTRIC LIGHTING
LAUNDRY, BASEMENT RECREATION ROOM, UNFINISHED BASEMENT	4% OF AREA SERVED	WINDOWS NOT REQUIRED
WATER CLOSET ROOM	0.37M <sup>2</sup> / 4 FT <sup>2</sup>	WINDOWS NOT REQUIRED
KITCHEN, KITCHEN SPACE OR KITCHEN ALCOVE	10% OF AREA SERVED	WINDOWS NOT REQUIRED
LIVING ROOMS & DINING ROOMS	10% OF AREA SERVED	10% OF AREA SERVED
BEDROOMS AND OTHER FINISHED ROOMS NOT MENTIONED ABOVE	5% OF AREA SERVED	5% OF AREA SERVED

(1) AREA OF THE SPACE SHALL BE MEASURED AT FLOOR LEVEL

### 9.7.5.2 RESISTANCE TO FORCED ENTRY

- (1) THIS ARTICLE APPLIES TO
  - (a) SWINGING ENTRANCE DOOR TO DWELLING UNITS
  - (b) SWINGING DOORS BETWEEN DWELLING UNITS AND ATTACHED GARAGES AND OTHER ANCILLARY SPACED, AND
  - (c) SWINGING DOORS THAT PROVIDE ACCESS DIRECTLY OR INDIRECTLY FROM A STORAGE GARAGE TO A DWELLING UNIT

- (4) DOORS DESCRIBED IN SENTENCE 1 SHALL BE PROVIDED WITH,
  - (a) A DEADBOLT LOCK WITH A CYLINDER HAVING NO FEWER THAN 5 PINS AND
  - (b) A BOLT THROW NOT LESS THAN 25mm (1") LONG, PROTECTED WITH A SOLID OR HARDENED FREE TURNING RING OR BEVELED CYLINDER HOUSING

### 9.7.6.1 INSTALLATION OF WINDOWS DOORS & SKYLIGHTS

- (1)(a) SHIMS USED TO SUPPORT WINDOWS, DOORS AND SKYLIGHTS ARE PERMITTED TO BE OF TREATED PLYWOOD
- (3) WINDOWS, DOORS AND SKYLIGHTS SHALL BE SEALED TO AIR BARRIERS AND VAPOUR BARRIERS

## 9.8 STAIRS, STEPS, RAMPS, LANDINGS, HANDRAILS AND GUARDS

### 9.8.2.1 STAIR WIDTH

- (4) AT LEAST ONE STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT AND EXTERIOR STAIRS SERVING A HOUSE OR AN INDIVIDUAL DWELLING UNIT SHALL HAVE A WIDTH OF NOT LESS THAN 860mm (2'-10")

### 9.8.2.2 HEIGHT OVER STAIRS

- (3) THE CLEAR HEIGHT OVER STAIRS SERVING A HOUSE OR INDIVIDUAL DWELLING UNIT SHALL NOT BE LESS THAN 1950mm (6'-4 3/4")

**TABLE 9.8.4.1**  
**RISE FOR RECTANGULAR TREADS, TAPERED TREADS AND WINDERS AND RUN FOR RECTANGULAR TREADS**

STAIR TYPE	MAX RISE FOR ALL STEPS	MIN RISE FOR ALL STEPS	MAX RUN FOR RECTANGULAR TREADS	MIN RUN FOR RECTANGULAR TREADS
PRIVATE STAIRS (HOUSES)	200mm / 7 7/8"	125mm / 5"	355mm / 14"	255mm / 10"
STAIRS TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT
STAIRS TO CRAWL SPACES	NO LIMIT	125mm / 5"	355mm / 14"	NO LIMIT

### 9.23.9 FLOOR JOISTS

#### 9.23.9.1 END BEARING FOR JOISTS

- (1) FLOOR JOISTS SHALL HAVE NOT LESS THAN 38mm (1 1/2") OF END BEARING

#### 9.23.9.2. JOISTS SUPPORTED BY BEAMS

- (2) WHEN FRAMED INTO THE SIDE OF A WOOD BEAM, JOISTS SHALL BE SUPPORTED ON

##### (a) JOIST HANGERS

- (3) WHEN FRAMED INTO THE SIDE OF A STEEL BEAM, JOISTS SHALL BE SUPPORTED ON THE BOTTOM FLANGE OF THE BEAM OR ON NOT LESS THAN 38mm (1 1/2") LUMBER BOLTED TO THE WEB WITH NOT LESS THAN 6.3mm (1/4") BOLTS SPACED NOT MORE THAN 600mm 23 1/2" APART

## 9.5 DESIGN OF AREAS, SPACES, & DOORWAYS

**TABLE 9.5.3.1.**  
**ROOM CEILING HEIGHTS**

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM OR SPACE, DINING ROOM OR SPACE, KITCHEN OR KITCHEN SPACE	7'-6 1/2" OVER 75% OF THE REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-10 1/2" AT ANY POINT OVER THE REQUIRED AREA
BEDROOM OR BEDROOM SPACE	7'-6 1/2" OVER AT LEAST 50% OF THE REQUIRED AREA OR 6'-10 1/2" OVER ALL OF THE REQUIRED AREA. ANY PART OF THE FLOOR AREA HAVING A CLEAR HEIGHT OF LESS THAN 4'-7" SHALL NOT BE CONSIDERED IN COMPUTING THE REQUIRED FLOOR AREA
BASEMENT SPACE	6'-10 1/2" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-4 3/4"
BATHROOM, WATER CLOSET ROOM OR LAUNDRY AREA ABOVE GRADE	6'-10 1/2" IN ANY AREA WHERE A PERSON WOULD NORMALLY STAND IN A STANDING POSITION
PASSAGE, HALL OR MAIN ENTRANCE VESTIBULE AND FINISHED ROOMS NOT SPECIFICALLY MENTIONED ABOVE	6'-10 1/2"

## 9.31 PLUMBING FACILITIES

### 9.31.4.1 REQUIRED FACILITIES

- (a) A KITCHEN SINK
- (b) A LAVATORY
- (c) A BATHTUB OR SHOWER STALL AND
- (d) A WATER CLOSET OR A DRAIN-LESS COMPOSTING TOILET

### 9.31.4.2. LAUNDRY FACILITIES

- (1) LAUNDRY FACILITIES OR A SPACE FOR LAUNDRY FACILITIES SHALL BE PROVIDED IN EVERY DWELLING UNIT OR GROUPED ELSEWHERE IN THE BUILDING IN A LOCATION CONVENIENTLY ACCESSIBLE TO OCCUPANTS OF EVERY DWELLING UNIT

### 9.31.4.4. FLOOR DRAINS

- (1) FLOOR DRAINS SHALL BE INSTALLED IN A BASEMENT FORMING PART OF A DWELLING UNIT

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Sheet Title: **Notes**

Scale: 1/4" = 1'-0" Sheet No.: \_\_\_\_\_

Date: 12/1/2025 A9