



NOTICE OF STATUTORY PUBLIC MEETING
Minor Variance Applications A-13/24 and A-14/24
20 McRae Street (Two legal lots: Lot #27 & Lot #30)
Township of North Dumfries

TAKE NOTICE that the Council (the “Committee”) for The Corporation of the Township of North Dumfries (the “Township”) will be considering two Minor Variance Applications (File Nos. A-13/24 and A-14/24) to recognize the existing parcel as two legal lots of record, and the proposed development of a new single-detached dwelling and coach house unit. The Meeting will be convened on **Tuesday, November 26th, 2024 at 6:00 pm.**

The two files will be held simultaneously in one Public Meeting as they represent an inter-related matter.

This Meeting will be a hybrid Committee Meeting. Interested members of the Public have the option of either attending the Meeting in-person or alternatively to connect to the meeting through a virtual electronic platform.

Information in terms of how to register and participate through the virtual meeting platform, if that engagement option is selected, is included as Appendix ‘A’ to this Notice. Please refer to Appendix ‘A’ so that you can be engaged and have the ability to directly participate in this upcoming Statutory Public Meeting if you wish to participate in the Meeting through a remote connection.

Application(s)	Minor Variance Applications A-13/24 and A-14/24
Related Application(s)	N/A
Owner(s):	Aaron and Jennifer Hacking
Applicant / Agent	N/A
Legal Description:	LT 27, 30 PL 552 NORTH DUMFRIES; TOGETHER WITH AN EASEMENT OVER PTS. 3, 4, 5 ON 58R-16441 AS IN WR512067;
Civic Address:	20 McRae Street, Township of North Dumfries
Assessment Roll No.:	3001-010-001-05200
<u>Public Meeting:</u>	<u>Tuesday November 26th, 2024, at 6:00 pm</u>
Location:	In-Person Participation: 2958 Greenfield Road, North Dumfries Community Complex, Dumfries Room, Ayr Virtual Meeting Participation: See Appendix “A” as to how to participate in the virtual meeting.

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Purpose of Statutory Public Meeting:

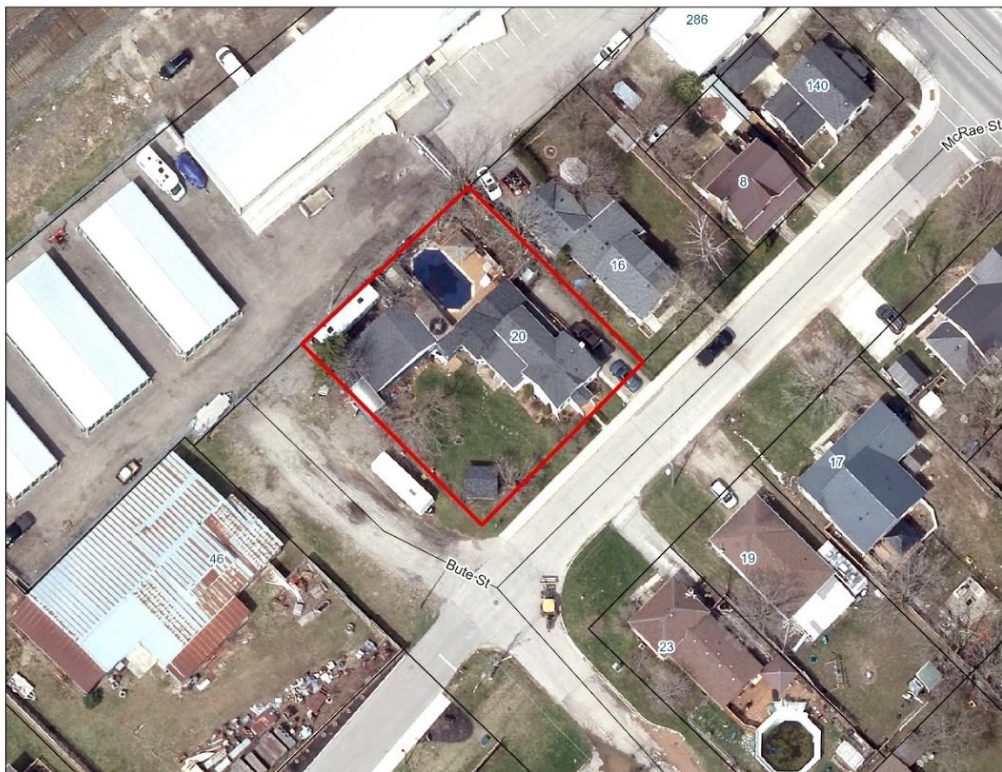
The purpose of the Public Meeting is to present background information and to receive public and agency input on the proposal. Any person may participate in the hybrid Statutory Public Meeting by attending in-person or virtually (see Appendix A to this Notice for directions to participate virtually) and/or provide written comments on the proposal and/or may make verbal representation at the time of the meeting.

Location & Property Context:

The subject property is located on the north side of McRae Street, at the corner of McRae Street and Bute Street in Urban Ayr.

The subject property is legally recognized as two separate parcels (*Lots 27 & 30*) that has been developed and used as one single residential lot with one distinct Property Identification Number (PIN). The existence of two lots of record was established through a pre-existing plan of subdivision (Plan 552) that predates the Planning Act and subdivision control in Ontario. Council officially recognized Plan 552 at the August 12th, 2024 council meeting, confirming the existence of these separate lots. The property currently contains an existing single-detached dwelling on municipal services, as well as a detached garage/shop and wooden pergola existing on the west half of the lot. The detached garage and wooden pergola will be removed and/or demolished to create space for a proposed single-detached dwelling and coach house unit. Figure 1 below provides an aerial view of the subject property.

Figure 1: Key Map

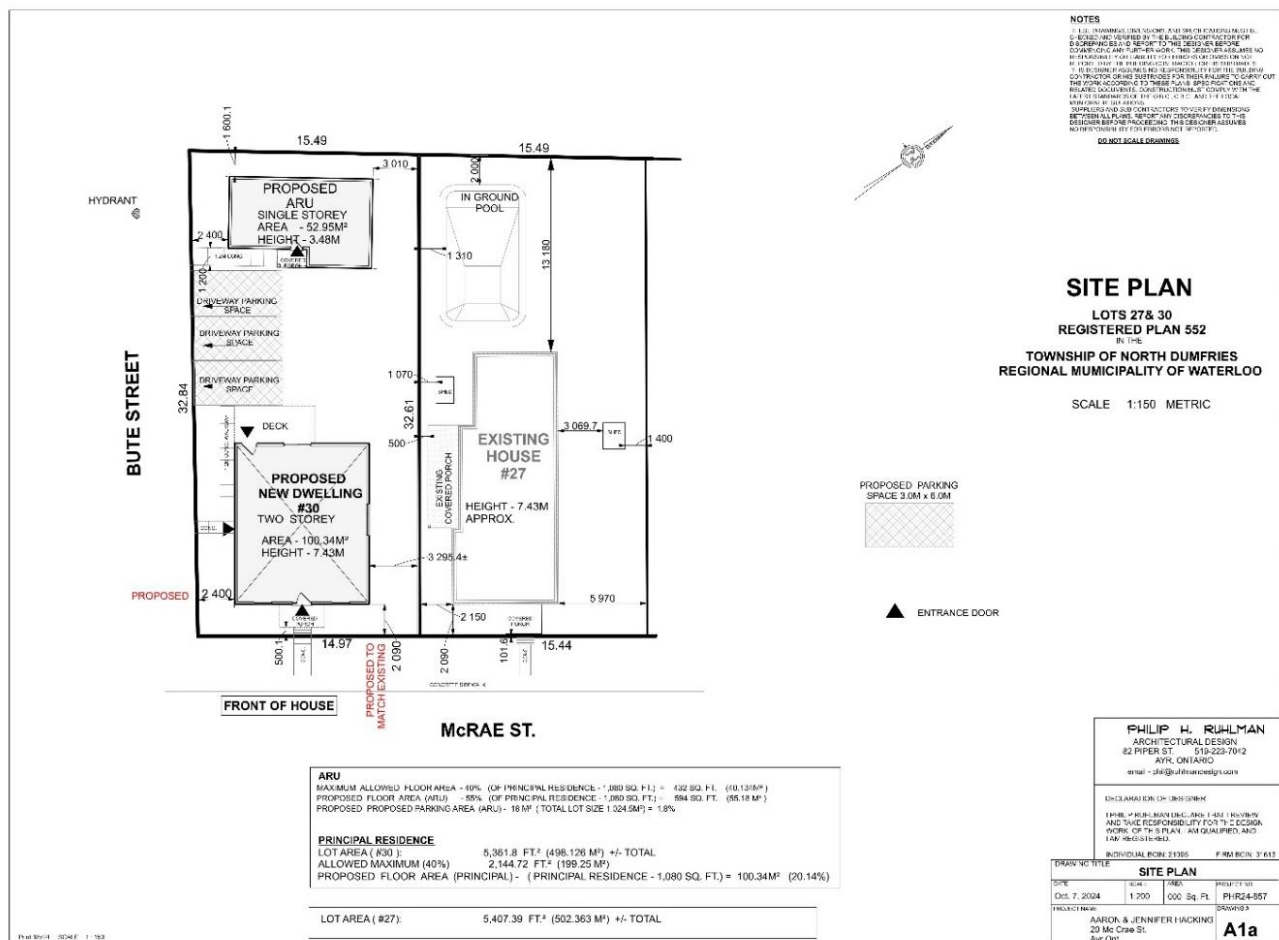


Two complete Planning Act applications (two minor variance applications) have been submitted to the Township of North Dumfries.

The two lots of record have the following dimensions:

- Lot 27 (northeast half of existing parcel) has a lot frontage of 15.44 metres onto McRae Street, lot depth of 32.61 metres, and lot area of 502.36m². This lot contains an existing 2 storey single-detached dwelling.
- Lot 30 (southwest half of existing parcel) has a lot frontage of 14.97 metres onto McRae Street, lot depth of 32.61 metres, and lot area of 498.15m². This lot currently contains a detached garage/shop and a wooden pergola; Both of which will be removed prior to any new construction.

See the below concept sketch showing the two lots, as well as the buildings/structures that are proposed. The full details of the variance being requested can be found on the next page.



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The Applicant has applied for two **Minor Variance Applications (File Nos. A-13/24 and A-14/24)** to seek relief from various sections of the Township Zoning By-law for Lots 27 & 30.

The following minor variances are being requested for Lot 27 (**File No. A-13/24**) from General Zoning By-law 689-83 as set out below:

1. Section 6.10.4 a) of General Zoning By-law 689-83 establishes that the building line shall be 7.5 metres from the lot line. The applicant is seeking relief from this provision to permit the building line to be 0.1 metres from the lot line.
2. Section 8.3.1 of General Zoning By-law 689-83 establishes that the minimum lot area shall be 700m². The applicant is seeking relief from this provision to permit a lot area of 502.36m².
3. Section 8.3.2 of General Zoning By-law 689-83 establishes that the minimum lot width shall be 18 metres. The applicant is seeking relief from this provision to permit a lot width of 15.44 metres.
4. Section 8.3.3 b) of General Zoning By-law 689-83 establishes that the minimum side yard setback for a two-storey dwelling shall be 2.4 metres. The applicant is seeking relief from this provision to permit a side yard setback of 0.5 metres (existing covered porch).

The following minor variances are being requested for Lot 30 (**File No. A-14/24**) from General Zoning By-law 689-83 as set out below:

1. Section 6.6.1 of General Zoning By-law 689-83 establishes that the no structure shall be located within the 15m corner lot visibility triangle. The applicant is seeking relief from this provision to permit the proposed dwelling to be located within the corner visibility triangle.
2. Section 6.10.4 a) of General Zoning By-law 689-83 establishes that the building line shall be a minimum of 7.5 metres from the lot line. The applicant is seeking relief from this provision to permit a building line to be 0.5 metres from the lot line.
3. Section 6.10.4 b) of General Zoning By-law 689-83 establishes that the flankage yard setback shall be a minimum of 6.0 metres. The applicant is seeking relief from this provision to permit a flankage yard setback of 2.4 metres.
4. Section 6.13.6 ii) of General Zoning By-law 689-83 establishes that for a lot containing a single-detached dwelling, the maximum permitted driveway width shall be 6.1m. The applicant is seeking relief from this provision to permit a driveway width of 9.0m.
5. Section 6.40.5 of General Zoning By-law 689-83 establishes that a lot containing a coach house must have a minimum lot width of 16 metres, lot depth of 40 metres, and lot area of 640m². The applicant is seeking relief to permit a 14.97m lot width, 32.61m lot depth, and lot area approximate lot area of 498.15m².

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6. Section 6.40.7 i) of General Zoning By-law 689-83 establishes that a coach house must not exceed 40% of the footprint of the principal dwelling. The applicant is seeking relief from this provision to permit a coach house footprint that is 52.8% of the primary dwelling footprint.
7. Section 6.40.14 of General Zoning By-law 689-83 establishes that for a lot containing a coach house unit, the maximum permitted driveway width shall be 6.1m. The applicant is seeking relief from this provision to permit a driveway width of 9.0m.
8. Section 8.3.1 of General Zoning By-law 689-83 establishes that the minimum lot area shall be 700m². The applicant is seeking relief from this provision to permit a lot area of 498.15m².
9. Section 8.3.2 of General Zoning By-law 689-83 establishes that minimum lot width shall be 18 metres. The applicant is seeking relief from this provision to permit a lot width of 14.97m².

For More Information:

Members of the Public are encouraged to contact Township Staff to secure more information about the proposed planning applications, and/or, to learn more about the Public Meeting process and how to be engaged in the review / decision making process.

Technical reports/drawings submitted by the Owner in support of the proposed Applications have been posted onto the Township's website [www.northdumfries.ca]. To view / download these reports, please access the Planning home page and follow the link to current planning applications. The "20 McRae Street" icon will be one of the listed current planning applications.

For more information about this matter, including information about appeal rights, please contact Brock Linklater, Senior Planner via Phone: (519) 632-8800 ext. 129, Fax: (519) 632-8700 or E-Mail: blinklater@northdumfries.ca during regular business hours, Monday to Friday, between 8:30 am and 4:30 pm.

Important Information About Making a Submission and Appeals

If you wish to be notified of the decision of the Committee of Adjustment in respect of the proposal, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment, Township of North Dumfries, 106 Earl Thompson Road, 3rd Floor, P.O. Box 1060, Ayr, Ontario N0B 1E0 or via Email: clerk@northdumfries.ca.

Only the applicant, the Minister or a specified person or public body that has an interest in the matter may file an appeal within 20 days of the making of the decision. If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed application does not make an oral or written submission to the Committee of Adjustment before it gives or refuses to give an approval, the Ontario Land Tribunal may dismiss the appeal.

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Please note that under the Freedom of Information and Protection of Privacy Act, unless otherwise stated in the submission, any personal information such as name, address, telephone number and property location included in the submission will become part of the public record files for this matter and will be released, if requested, to any person.

Providing Comments and Requesting Further Notification:

The purpose of the Statutory Public Meeting is to present information and to receive input on the proposal. Any person or agency may attend the meeting in-person or virtually, provide written comments on the proposal and/or may make verbal representation in-person or virtually at the time of the meeting.

You may provide comments about the proposed planning application in writing to the Township. Any comments received **on or before 4:30 p.m. Tuesday November 26th, 2024** will be presented at the Public Meeting. Any comments received after the meeting, but prior to the Committee of Adjustment making a decision on the planning application, will be considered in a future Report to Committee on the disposition of this matter.

This information is collected and maintained for creating a record that is available to the public. Please note that while the Township may redact personal information such as your email addresses and phone number, your submissions will otherwise be made public in its entirety.

Should you wish to be notified of future meetings, reports or a decision regarding these applications, please:

- Submit a written request, noting that you wish to be kept informed, to the Township of North Dumfries Planning Department, 106 Earl Thompson Road, 3rd Floor, P.O. Box 1060, Ayr, ON, N0B 1E0;
- Email your request noting that you wish to be kept informed to Brock Linklater, Senior Planner at blinklater@northdumfries.ca

Dated: November 6th, 2024

APPENDIX A PARTICIPATION IN A HYBRID STATUTORY PUBLIC MEETING

The Committee of Adjustment meeting scheduled for November 26th, 2024, to deal with Minor Variance Applications A-13/24 and A-14/24 will be a hybrid meeting where members of the Public can decide whether to attend in-person or opt to appear virtually.

HOW TO PARTICIPATE

If you decide to attend the Statutory Public Meeting virtually rather than in-person, you can view or participate in the meeting as follows:

Below is information on how you can submit comments, view or participate in the meeting. You may also contact the Committee of Adjustment Secretary-Treasurer by sending an email to clerk@northdumfries.ca or by phone at 519-632-8800 ext. 122 if you have any questions.

HOW TO PARTICIPATE

If you decide to attend the Statutory Public Meeting virtually rather than in-person, you can view or participate in the meeting as follows:

1. Watch the livestream via the Township of North Dumfries YouTube site. Members of the public are invited to view this open meeting electronically by accessing the meeting stream at: <https://calendar.northdumfries.ca/council>. Under the Video column, click on the link for the meeting date that you wish to watch. Note – you do not need a YouTube account to watch the livestream. You cannot directly participate in the Public Meeting via the livestream YouTube feed. This is for viewing only.
2. To participate directly in the Public Meeting, please **REGISTER** with the Committee of Adjustment Secretary-Treasurer **on or before 6 pm on Tuesday November 26th, 2024**. To register, please email clerk@northdumfries.ca or phone 519-632-8800 ext.122. When registering you must provide your name, phone number, email address and the application number you would like to comment on. Once you are registered, the Committee Secretary-Treasurer will forward information on how to connect to the Zoom meeting (ie: Zoom meeting link or conference call number).

If you are unsure whether or not you would like to speak at the Public Meeting but want to listen and have the option to comment on a particular application, please register with the Committee Secretary-Treasurer. You will not be required to speak if you do not want to.

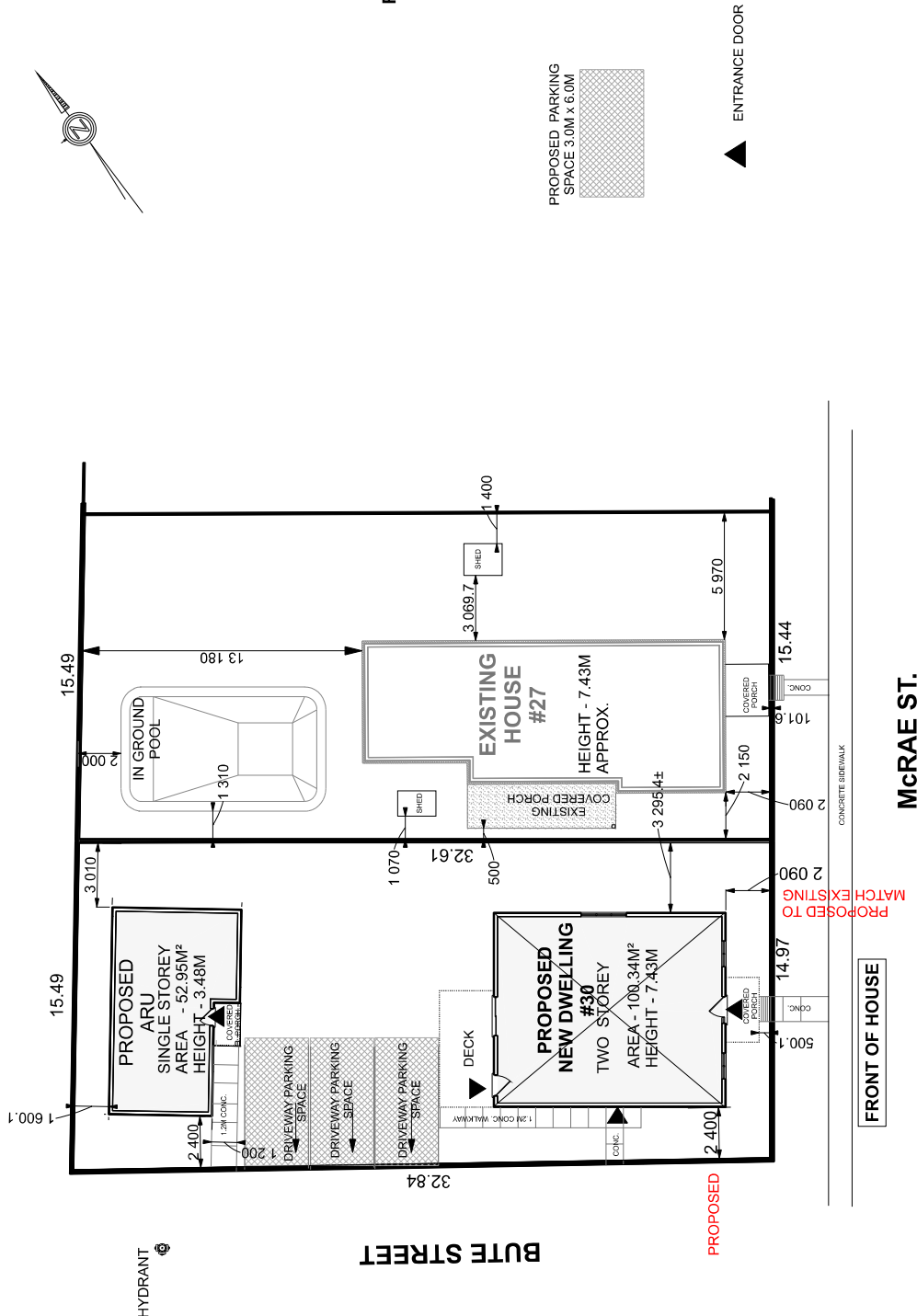
3. If you would like to comment on a particular application but are not available to attend the Public Meeting virtually, you can submit a letter by mail; deliver the letter to the Township Municipal Office or, submit an email to clerk@northdumfries.ca. Any correspondence submitted will be provided to the Committee of Adjustment and will form part of the public record.

THESE DRAWINGS, DIMENSIONS AND SPECIFICATIONS MUST BE CHECKED AND VERIFIED BY THE BUILDING CONTRACTOR FOR DISCREPANCIES AND REPORT TO THIS DESIGNER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ERRORS OR OMISSIONS NOT REPORTED BY THE BUILDING CONTRACTOR OR HIS SUBTRADEES. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE BUILDING CONTRACTOR'S FAILURE TO CHECK THE DRAWINGS OR FOR OMISSIONS OF THE CONTRACTOR'S WORK ACCORDING TO THESE PLANS, SPECIFICATIONS AND RELATED DOCUMENTS. CONSTRUCTION MUST COMPLY WITH THE APPLICABLE CODES, ORDINANCES, U.S. O.C. & C. AND THE LOCAL BUILDING DEPARTMENT REGULATIONS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY SUPPLIERS AND SUB CONTRACTORS TO VERIFY DIMENSIONS BETWEEN ALL PLANS. REPORT ANY DISCREPANCIES TO THIS DESIGNER IMMEDIATELY. THIS DESIGNER ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS NOT REPORTED.

**LOTS 27 & 30
REGISTERED PLAN 552
IN THE**

**TOWNSHIP OF NORTH DUMFRIES
REGIONAL MUNICIPALITY OF WATERLOO**

SCALE 1:150 METRIC



McRAE ST.

FRONT OF HOUSE

MAXIMUM ALLOWED FLOOR AREA - 40% OF PRINCIPAL RESIDENCE - 1,080 SQ. FT.) = 432 SQ. FT. (40,134#)
PROPOSED FLOOR AREA (ARU) - 55% (OF PRINCIPAL RESIDENCE - 1,080 SQ. FT.) = 594 SQ. FT. (55,18 #)
PROPOSED PROPOSED PARKING AREA (ARU) - 18 M² (TOTAL LOT SIZE 1,024.5M²) = 1.8%

PRINCIPAL RESIDENCE
 LOT AREA (#30) : 5,361.8 FT.² (498,126 M²) +/- TOTAL
 ALLOWED MAXIMUM (40%) 2,144.72 FT.² (199.25 M²)
 PROPOSED FLOOR AREA (PRINCIPAL) - (PRINCIPAL RESIDENCE - 1,080 SQ. FT.) = 100.34M² (20.14%)

5,407.39 FT.² (502.363 M²) +/- TOTAL

PHILIP H. RUHLMAN ARCHITECTURAL DESIGN 82 PIPER ST. AYO, ONTARIO email - phil@uhlmandesign.com	DECLARATION OF DESIGNER I PHILIP RUHLMAN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN OF THIS PLAN. I AM QUALIFIED AND I AM REGISTERED.		INDIVIDUAL BCIN: 21095 FIRM BCIN: 31613	
	DRAWING TITLE			
SITE PLAN		SCALE 1:200	AREA 000 Sq. Ft.	PROJECT NO. PHR24-857 DRAWING #
DATE Oct. 7, 2024		PROJECT NAME AARON & JENNIFER HACKING 20 Mc Crae St. Ayr Ont.		