

1. DOOR AND WINDOW FRAMES ARE TO BE SPRAY FOAMED AND SEALED TO THE INTERIOR OR EXTERIOR AIR BARRIER.
2. IF THE AIR BARRIER IS LOCATED ON EXTERIOR, SEAL GAPS BETWEEN INSULATION AND DOOR OR WINDOW FRAME. RIGID INSULATION IS TO BE CAULKED TO THE TOP AND BOTTOM PLATES.
3. BELTS AT FOUNDATION AND BRICK CANTILEVERS ARE TO BE WRAPPED WITH FLEXIBLE AIR BARRIER MATERIAL AND SEALED TO THE INTERIOR VAPOUR BARRIER AND FOUNDATION WALL AS PER OBC 9.25.3.3.(6) & (8).
4. WALLS ABUTTING ATTIC SPACE AND INTERIOR SPACE ARE TO BE BLOCKED SO THE AIR BARRIER CAN BE SEALED ALONG THE BLOCKING WITH AN APPROVED SEALANT AS PER OBC 9.25.3.3.(9)
5. ALL PENETRATIONS THROUGH THE WALL OR CEILING AIR BARRIER ARE TO BE TAPED AND CAULKED. ALL BUTT JOINTS IN PANEL TYPE AIR BARRIERS ARE TO BE TAPED AS PER 9.25.3.3.(9).
6. SEAL AROUND ALL ATTIC HATCHES.
7. ALL LAPS IN AIR BARRIER LOCATED BEHIND TUBS, SHOWERS AND FIREPLACES ARE TO BE SEALED AND CLAMPED AS PER OBC 9.25.3.3.(3).
8. ALL PENETRATIONS THROUGH BELTS (PLUMBING, HVAC ETC.) TO BE SEALED WITH SPRAY FOAM AND CAULKED AS PER OBC 9.25.3.3.(3).
9. ALL SUMP PITS TO HAVE A SEALED COVER ASD PER OBC 9.25.3.3.(16).
10. CLEANOUTS COVERS TO BE SEALED AND WEATHER STRIPPED AS PER OBC 9.25.3.3.(16).
11. AIR BARRIER TO BE CONTINUOUS THROUGH ENTIRE BASEMENT AS PER OBC 9.25.3.1.(2).
12. CAULKING IS REQUIRED AT PERIMETER OF FOUNDATION WALL/FLOOR JOINT AND ALL PIPE AND POST PENETRATIONS AS PER OBC 9.25.3.3.(15).
13. MAINTAIN AIR BARRIER BETWEEN COLD ROOM AND BASEMENT AS PER OBC 9.25.3.1.(1).
14. AIR BARRIER IS A SEPARATE INSPECTION WHICH MUST BE CALLED PRIOR TO ANY EXTERIOR FINISH (BRICK, SIDING, ETC.) BEING INSTALLED. BUILDER IS RESPONSIBLE TO ENSURE AIR BARRIER ARE IN PLACE WHEN INSPECTION IS CALLED.

1. CONTRACTOR SHALL REVIEW THE CONSTRUCTION DRAWINGS AND REPORT ANY ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK OF THE CONTRACT. PROCEEDING WITHOUT NOTIFICATION, OR IF CHANGES ARE MADE WITHOUT THE APPROVAL OF THE DESIGNER, THIS WILL VOID ALL RESPONSIBILITY AND LIABILITY OF THE DESIGNER.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, ALL OTHER CODES AND REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS OF THE CODE WHERE APPLICABLE AND IT IS THE CONTRACTORS RESPONSIBILITY TO BE FAMILIAR WITH PART 9 OF THE ONTARIO BUILDING CODE.
3. DRAWINGS ARE NOT TO BE SCALED.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO:
 - a) VERIFY AND CHECK ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION.
 - b) DETERMINE LOCATIONS OF SERVICES.
 - c) WHERE DISCREPANCIES OCCUR, CONSULT WITH THE BUILDING DEPARTMENT OR THE DESIGNER PRIOR TO EXECUTION OF THE WORK.
5. WHERE EXISTING CONCRETE FOUNDATION WALLS, FOOTINGS AND SLABS ARE TO REMAIN, CONTRACTOR SHALL TAKE EVERY PRECAUTIONS TO PREVENT COLLAPSE OF EXISTING WALLS DURING CONSTRUCTION. WHERE CONSULTANT OR BUILDING DEPARTMENT REQUIRES CONFIRMATION OF SUB-SURFACE CONDITIONS, CONTRACTOR SHALL FACILITATE REMOVALS AS DIRECTED TO EXPOSE CONDITIONS REQUIRED.
6. PRIOR TO CONSTRUCTION, A BUILDING PERMIT MUST BE ISSUED FOR THE SCOPE OF WORK. PROCEEDING WITHOUT A ISSUED BUILDING PERMIT WILL VOID ALL RESPONSIBILITY AND LIABILITY OF THE DESIGNER.
7. THE USE OF THESE PLANS SHALL BE RESTRICTED TO THE ORIGINAL PROJECT SITE FOR WHICH THEY WERE CREATED FOR.

1. ALL WOOD FRAME CONSTRUCTION TO BE CONSTRUCTED AS PER SECTION 9.23 OF THE ONTARIO BUILDING CODE.
2. ALL STRUCTURAL LUMBER TO BE S.P.F.#1 OR S.P.F. #2 CONSTRUCTION OR BETTER AND FREE FROM ABOVE NORMAL DEFECT UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS DETERMINED FROM THE SPAN TABLES OF THE ONTARIO BUILDING CODE.
3. JOIST END BEARING SHALL BE 1 1/2" MINIMUM.
4. BEAMS AND GIRDERS SHALL HAVE 3 1/2" MINIMUM END BEARING.
5. BEAMS AND POINTS LOADS SHALL BE SUPPORTED FULL WIDTH TO FOUNDATION.
6. WHERE WOOD COMES IN DIRECT CONTACT WITH CONCRETE SURFACES, SUCH AS SLABS OR BASEMENT WALLS, WOOD PLATES SHALL BE PRESSURE TREATED OR ADEQUATELY SEPARATED FROM THE CONCRETE BY MEANS OF BARRIER, LIKE 6 MIL POLY.
7. THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT OVERLOAD THE STRUCTURE DURING CONSTRUCTION. CONTRACTOR TO PROVIDE WIND BRACING AS REQUIRED.
8. ALL WOOD SUPPORT COLUMNS TO BE A MINIMUM EQUAL IN WIDTH TO THE BEAM SUPPORTED ABOVE. STEEL POSTS TO HAVE A BEARING PLATE MINIMUM EQUAL IN WIDTH TO THE BEAM SUPPORTED ABOVE, PROVIDE 3 1/2" BEARING.
9. PROVIDE MINIMUM DOUBLE JOIST AROUND ALL STAIR OPENINGS.
10. NO JOIST UNDER TOILET OR TUB DRAINS.
11. ANGLE HEADROOM AT STAIRS TO BE A MINIMUM OF 6'-5" CLEARANCE.
12. MAXIMUM ALLOWABLE SPANS FOR STEEL LINTELS SUPPORTING MASONRY VENEER TO BE SIZED AND DETERMINED AS PER OBC TABLE 9.20.5.2.B.
13. WHERE ENGINEERED ROOF TRUSSES ARE BEING USED, REFER TO ENGINEERED ROOF TRUSS DRAWINGS FOR LAYOUT OF TRUSSES. WHERE ENGINEERED FLOOR JOISTS ARE BEING USED, REFER TO ENGINEERED FLOOR JOIST DRAWINGS FOR LAYOUT. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ENGINEER FOR THE ENGINEERED PRODUCT AND DESIGNER.
14. WHERE ENGINEERED WOOD PRODUCTS ARE USED, PROVIDE AND FOLLOW INSTALLATION DOCUMENTATION FROM THE ENGINEERED WOOD SUPPLIER/ENGINEER. PROVIDE A COPY OF ENGINEERED WOOD PRODUCTS ON SITE AND TO THE DESIGNER. NO WORK SHALL PROCEED UNTIL APPROVED DRAWINGS ARE ON-SITE AND IN THE POSSESSION OF THE DESIGNER. WOOD TRUSSES SHALL BE STORED, ERECTED AND INSTALLED ACCORDING TO THE MANUFACTURERS WRITTEN DIRECTIONS.
15. NOTHING AND DRILLING OF ANY STRUCTURAL MEMBER SHALL BE AS PER THE ONTARIO BUILDING CODE OR THE ENGINEERED WOOD SUPPLIERS INFORMATION.
16. WOOD BEAMS SHALL BE APPROPRIATE SIZE AS DETERMINED BY THE OBC TABLES A-8, A-9, A-10, A-11 AND A-12.
17. WOOD LINTELS SHALL CONFORM TO OBC TABLE A-15.

1. AS PER OBC SECTION 9.34.
2. ALL FLOOR LEVELS SHALL BE EQUIPPED WITH AN INTERCONNECTED SMOKE DETECTORS (TYPICAL FOR ALL UNITS). ALL SMOKE ALARMS ARE TO BE INTERCONNECTED WITHIN THE UNITS AND SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 9.10.19.1 AND SOUND COMPONENT TO 9.10.19.2. LOCATIONS SHOULD BE IN COMPLIANT WITH 9.10.19.3.
3. ALL CARBON MONOXIDE ALARMS TO COMPLY TO 9.33.4 AND LOCATIONS OF ALARMS TO BE IN COMPLIANT WITH 9.33.4.2
4. STAIRS MUST HAVE A LIGHT CONTROLLED BY A 3-WAY SWITCH AT THE TOP AND BOTTOM OF THE STAIR.
5. CONTRACTOR TO ENSURE AN ESA PERMIT IS PULLED FOR ANY ELECTRICAL WORK.
6. ALL ROOMS SHALL HAVE CEILING MOUNTED LIGHTS CONTROLLED WITH A LEAST ONE SWITCH.
7. RECEPTACLES SHALL BE LOCATED ALONG THE WALLS ACCORDING TO THE REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE.
8. THE ELECTRICAL CONTRACTOR SHALL WORK WITH THE OWNER IN SELECTING THE APPROPRIATE LOCATION FOR LIGHT FIXTURES AND SWITCHES.

1. ALL FOOTINGS, FOUNDATION AND CONCRETE SLABS TO BE CONSTRUCTED AS PER AS PER CBC SECTION 9.15 & 9.16. OF THE ONTARIO BUILDING CODE.
2. ALL FOOTINGS AND FOUNDATIONS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL. CONCRETE FOR FOOTINGS AND FOUNDATIONS TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 25 MPa AT 28 DAYS.
3. CONCRETE FOUNDATION WALLS SHALL EXTEND TO A MINIMUM OF 6" ABOVE FINISHED GRADE.
4. CONCRETE FOUNDATIONS SHALL BE CONSTRUCTED TO SUFFICIENT DEPTH TO PREVENT ADEQUATE Frost PROTECTION. STEP UNDERSIDE OF FOOTINGS IN ACCORDANCE WITH APPROVED LOT GRADING PLAN, BUT NOT GREATER THAN 24" VERTICALLY (MAXIMUM) IN EACH 48" HORIZONTAL (MINIMUM) SPAN.
5. NEW CONCRETE STRIP FOOTINGS TO BE PROVIDED WITH 2-15M REBAR IN FOOTINGS AND MUST HAVE A 2"x4" KEY FOR FOUNDATION WALLS.
6. CONCRETE SLAB ON GRADE:
 - a) BASEMENTS: 3" THICK, MINIMUM 20 MPaa. SLOPE BASEMENT FLOORS TO BASEMENT DRAIN AS PROVIDED.
 - b) GARAGE: 4" THICK, MINIMUM 32 MPa. SLOPE GARAGE SLABS TO EXTERIOR AT MINIMUM OF 1%.
 - c) SUSPENDED CONCRETE SLABS OVER COLD STORAGE (WHERE APPLICABLE): 5" THICK AND REINFORCED WITH 15M REBAR AT 8" EACH WAY WITH A BOTTOM COVER OF 1.25". CONCRETE SHALL BE MINIMUM 25 MPa CONCRETE WITH 6% AIR ENTRAINMENT. SLOPE AWAY FROM BUILDING AT MINIMUM 1%. PROVIDE MINIMUM OF 3" BEARING ON CONCRETE FOUNDATION WALLS.
7. USE A MINIMUM OF 4" COMPACTED LAYER OF 3/4" CLEAR STONE UNDER ALL GROUND SLABS, UNLESS NOTED OTHERWISE.
8. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED IN ANY WAY DURING EXCAVATION.
9. ALL CONCRETE WORK SHALL CONFIRM WITH CSA STANDARDS.
10. ALL STUD WALLS SHALL BE ANCHORED TO FOUNDATION WALL OR FLOOR SLAB WITH EITHER 2"x4" OR 2"x6", AS REQUIRED, SILL PLATE ON WATERPROOF GASKET ON TOP OF FOUNDATION WALL. ANCHOR WITH MINIMUM 1/2" DIAMETER ANCHOR BOLTS AT 48" O/C.

1. ALL EXCAVATION AND BACKFILL TO BE CONSTRUCTION AS PER SECTION 9.12. OF THE ONTARIO BUILDING CODE.
2. EXCAVATION, WHERE REQUIRED, SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT ANY DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES BOTH BURIED AND ABOVE GROUND.
3. TOPSOIL, VEGETATION AND OTHER ORGANIC MATTER IN UNEXCAVATED AREAS UNDER THE BUILDING SHALL BE REMOVED. THE BOTTOM OF ALL EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE FROM ORGANIC MATERIAL OR OTHER MATERIALS THAT WOULD PREVENT ADEQUATE BEARING CAPACITY FOR THE STRUCTURE.
4. BACKFILL WITHIN 24" OF FOUNDATIONS SHALL BE FREE FROM DELETERIOUS DEBRIS AND STONES OVER 9" IN DIAMETER. PREVENT DAMAGE TO FOUNDATION WALLS AND MEMBRANES ATTACHED TO FOUNDATION WALLS.
5. EXCAVATION AT EXISTING FOUNDATIONS SHALL BE PERFORMED IN A CAREFUL MANNER SO AS TO NOT DISTURB THE EXISTING FOUNDATIONS. DO NOT EXCAVATE BELOW EXISTING FOUNDATIONS, UNLESS UNDERPINNING DETAIL/INSTRUCTIONS HAVE BEEN PERFORMED/PROVIDED.
6. THESE DRAWING AND SPECIFICATIONS DO NOT COVER UNDERPINNING OF EXISTING FOUNDATION WALLS. IF UNDERPINNING IS REQUIRED, THE DESIGN MUST BE PERFORMED BY A PROFESSIONAL ENGINEER.

1. ENSURE ROOF AND ALL JUNCTURE POINTS WHERE THE PROPOSED ROOF MEETS THE EXISTING ARE WATER TIGHT. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THE STRUCTURE IS WATER TIGHT AT ALL TIMES.
2. INSTALL 25 YEAR ASPHALT SINGLES OVER ROOF SHEATHING, UNLESS NOTED OTHERWISE. PROVIDE MEMBRANE PROTECTION OVER ENTIRE ROOF SURFACE FOR LOW SLOPE APPLICATION.
3. PROVIDE CONTINUOUS RIDGE AND SOFFIT VENTING OF ALL ROOFS. ENSURE FREE OPENING OF VENTS COMPLIES WITH OBC. VENTILATION FOR ROOF SPACES AT A RATIO OF 1 SQ. FT. MIN. OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ. FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATION AT THE EAVES.
4. PROVIDE PREFINISHED BENT ALUMINUM FASCIA AND SOFFIT INCLUDING ALL APPROPRIATE AND REQUIRED TRIMS. SOFFITS SHALL HAVE CONTINUOUS AIR VENTS FOR ATTIC VENTILATION.
5. EAVESTROUGH AND DOWNSPOUTS SHALL BE SEAMLESS PREFINISHED ALUMINUM AND INSTALLED TO PREVENT MOVEMENT AND DISLODGEEMENT FROM ICE, WIND AND SNOW. ENSURE TROUGHS AND DOWNSPOUTS ARE MINIMUM 5" IN WIDTH.

1. VENTILATION TO BE CONSTRUCTED AS PER SECTION 9.32. OF THE ONTARIO BUILDING CODE.
2. PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1 SQ. FT. MIN OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ. FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATION AT THE EAVES.
3. PROVIDE BAFFLES AT THE EAVES TO PERMIT FREE UNOBSTRUCTED AIR FLOW.
4. PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF OBC 9.32.3. REFER TO MECHANICAL/HVAC CALCULATIONS AND DESING FOR MORE INFORMATION.

1. EXTERIOR DOORS AND WINDOWS TO BE CONSTRUCTED AS PER SECTION 9.7. OF THE ONTARIO BUILDING CODE.
2. DOORS TO DWELLING UNITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS.
3. ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CAN/CSA-0132.2-M, IF STEEL INSULATED CONFORM TO CAN/CGSB-82.5
4. WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS.
5. ALL DOORS AND WINDOWS SHALL CONFORM WITH OBC SECTION 9.7.6

1. BRICKS SHALL BE INSTALLED WITH A 1" AIR SPACE BETWEEN THE BACK OF THE BRICK AND THE AIR BARRIER.
2. PROVIDE CORRUGATED STAINLESS STEEL BRICK TIES AT 32" O.C. E.W. FASTENED TO THE STUDS OR WOOD SHEATHING.
3. PROVIDE AIR VENTS AND WEEP HOLES AT THE TOPS AND BOTTOMS OF THE BRICK WALLS AND AT EACH OPENING.
4. PROVIDE PLASTIC BUG SCREENS IN ALL VENTS. SPACING SHALL BE AT 32" O.C. WITH A MINIMUM OF 1 PER OPENING.

1. TO BE CONSTRUCTION AND INSTALLED AS PER SECTION 9.25 OF THE ONTARIO BUILDING CODE.
2. PROVIDE AN AIR BARRIER IN STRICT ACCORDANCE WITH OBC SECTION 9.25.3
3. VAPOUR BARRIER SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACE OF ANY THERMALLY INSULATED WALL, CEILING & FLOOR ASSEMBLIES AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION. ALL PENETRATION OF THE VAPOUR BARRIER TO BE SEALED TO MAINTAIN THE BARRIER SYSTEM.

AS PER OBS SECTION 9.8.
(UNLESS NOTED OTHERWISE ON DRAWINGS)

MAX. RISE = 7 7/8", MIN. RISE = 5"
MAX. RUN = 14", MIN. RUN = 10 1/4"
NOSING = 1"

UNIFORM RISE & RUN ON ANY FLIGHT OF STAIRS
MINIMUM HEADROOM = 6'-5"
GUARD HEIGHT AT LANDING = 35"
GUARD SPACING = 4" (NON CLIMBABLE)
GUARD HEIGHT 2'-0" ABOVE GRADE = 35"

HANDRAILS INSTALLED BETWEEN 31" AND 36"
HANDRAIL REQUIRED ON STAIRS OVER 3 RISERS INSTALLED BETWEEN 31" AND 36"

CONCRETE STAIRS OVER 2 RISERS ARE REQUIRED TO BE SUPPORTED ON FOUNDATION

1. PROVIDE DAMPPROOFING ON EXTERIOR CONCRETE FOUNDATION WALLS.
2. PROVIDE RIGID PLASTIC DRAINAGE BOARD FROM GRADE TO WEeping TILE. ENSURE SYSTEM IS ADEQUATELY FASTENED TO THE FOUNDATION AND TERMINATED WITH A TERMINATION BAR AT GRADE LEVEL.
3. PROVIDE 4" DIAMETER "BIG O" PERFORATED DRAINAGE TILE COMPLETE WITH FILTER SOCK AROUND FOOTINGS THAT ARE AT THE BASEMENT FLOOR SLAB LEVEL. WHERE FOOTINGS EXTEND BELOW BASEMENT FLOOR SLAB, DRAINAGE TILE IS NOT REQUIRED IN THESE AREAS.
4. PROVIDE ADEQUATE SLOPE AWAY FROM THE BUILDING FOUNDATION WALLS.

1. ALL SMOKE ALARMS ARE TO BE INTERCONNECTED WITHIN THE UNITS AND SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 9.10.19.1.3 AND SOUND COMPONENT TO 9.10.19.2. LOCATIONS SHOULD BE IN COMPLIANT WITH 9.10.19.3.
2. A **15 MINUTE** (IF HOUSE IS OLDER THAN 5 YEARS) OR A **45 MINUTE** (IF HOUSE IS LESS THAN 5 YEARS OLD) CONTINUOUS HORIZONTAL FIRE SEPARATION IS REQUIRED BETWEEN EACH UNIT AND COMMON SPACE.
3. A **30 MINUTE** (IF HOUSE IS OLDER THAN 5 YEARS) OR A **45 MINUTE** (IF HOUSE IS LESS THAN 5 YEARS OLD) CONTINUOUS VERTICAL FIRE SEPARATION IS REQUIRED BETWEEN EACH UNIT AND COMMON SPACE.
4. PROVIDE SPRINKLER HEADS TO COVER ALL AREAS WITHIN THE FURNACE ROOM AND AROUND ALL OBSTRUCTIONS IF CONTINUOUS FIRE SEPARATION CANNOT BE ATTAINED BETWEEN UNIT A AND UNIT B.
5. FIRE DETECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH 9.10.13.13 OF THE ONTARIO BUILDING CODE AND ALL SMOKE DAMPERS ARE TO BE INTERCONNECTED BETWEEN BOTH UNITS AND COMMON SPACES.

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A0.1	GENERAL NOTES
A0.2	ASSEMBLIES AND SCHEDULES
A0.3	SCHEDULES AND BUILDING AREA BREAKDOWNS
A0.4	UPO CALCULATIONS
A1.1	BASEMENT FLOOR PLAN
A1.2	MAIN FLOOR PLAN
A1.3	SECOND FLOOR PLAN
A1.4	ROOF PLAN
A2.1	EAST ELEVATION
A2.2	NORTH ELEVATION
A2.3	WEST ELEVATION
A2.4	SOUTH ELEVATION
A3.1	BUILDING SECTION
A3.2	BUILDING SECTION
A4.1	TYPICAL WALL SECTIONS
A4.2	TYPICAL DETAILS AND FRONT PORCH SECTION

PAGE NUMBER	PAGE NAME
S1.1	FOUNDATION FRAMING PLAN
S1.2	MAIN FLOOR FRAMING PLAN
S1.3	SECOND FLOOR FRAMING PLAN
S1.3.1	STRUCTURAL ROOF FRAMING PLAN
S1.4	STRUCTURAL DETAILS
S1.5	STRUCTURAL NOTES

PAGE NUMBER	PAGE NAME
SP1.1	SITE PLAN

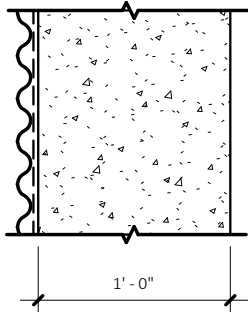
No.	CHRONOLOGY	DATE
1	ISSUED FOR BUILDING PERMIT	2023.10.10

No.	REVISIONS	DATE

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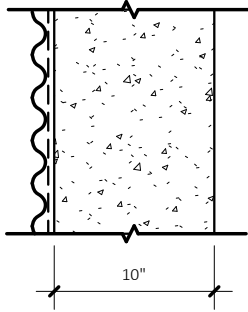
DRAWING TITLE	
GENERAL NOTES	
DATE	2024.10.10
SCALE	A0.1
PROJECT NO.	

FOUNDATION WALL ASSEMBLIES



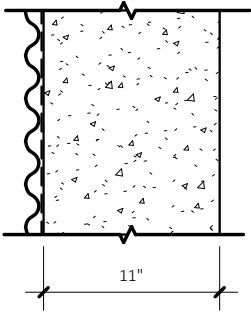
FW1

FOUNDATION WALL ASSEMBLY - FW1
- SPRAY APPLIED WATERPROOFING
MEMBRANE AND DRAINAGE LAYER MIN. 2" ABOVE
GRADE DOWN TO TOP OF FOOTING (WHERE REQUIRED)
- 12" CAST-IN-PLACE CONCRETE FOUNDATION WALL



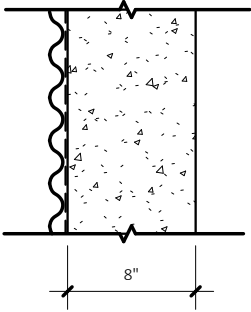
FW2

FOUNDATION WALL ASSEMBLY - FW2
- SPRAY APPLIED WATERPROOFING
MEMBRANE AND DRAINAGE LAYER MIN. 2" ABOVE
GRADE DOWN TO TOP OF FOOTING (WHERE REQUIRED)
- 10" CAST-IN-PLACE CONCRETE FOUNDATION WALL



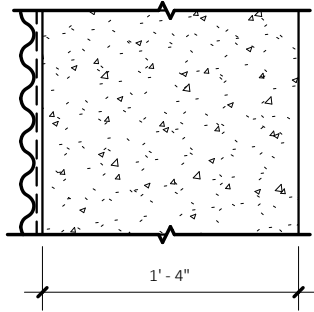
FW3

FOUNDATION WALL ASSEMBLY - FW3
- SPRAY APPLIED WATERPROOFING
MEMBRANE AND DRAINAGE LAYER MIN. 2" ABOVE
GRADE DOWN TO TOP OF FOOTING (WHERE REQUIRED)
- 11" CAST-IN-PLACE CONCRETE FOUNDATION WALL



FW4

FOUNDATION WALL ASSEMBLY - FW4
- SPRAY APPLIED WATERPROOFING
MEMBRANE AND DRAINAGE LAYER MIN. 2" ABOVE
GRADE DOWN TO TOP OF FOOTING (WHERE REQUIRED)
- 8" CAST-IN-PLACE CONCRETE FOUNDATION WALL



FW5

FOUNDATION WALL ASSEMBLY - FW5
- SPRAY APPLIED WATERPROOFING
MEMBRANE AND DRAINAGE LAYER MIN. 2" ABOVE
GRADE DOWN TO TOP OF FOOTING (WHERE REQUIRED)
- 16" CAST-IN-PLACE CONCRETE FOUNDATION WALL
REBAR AS NOTED ON STRUCTURAL PLANS
SECTION DETAIL.

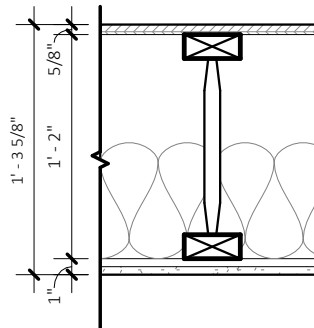
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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE AND REPORT AND DISCREPANCIES TO THE DRAFTSPERSON, BEFORE PROCEEDING WITH THE WORK.

DRAWINGS ARE NOT TO BE SCALED.

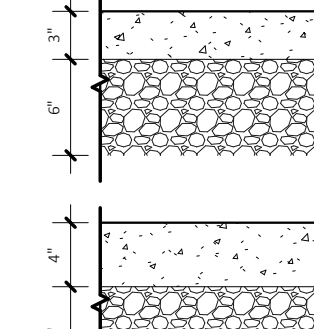
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FLOOR ASSEMBLIES



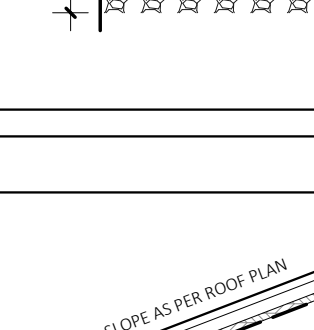
FL1

TYPICAL INTERIOR FLOOR ASSEMBLY - FL1
- FLOOR FINISH, AS PER OWNER
- 5/8" T & G SUBFLOOR GLUED AND SCREWED
- 14" PRE-ENGINEERED I-JOISTS @ 16" o.c.
- SOUND ATTENUATION BATT INSULATION IN
JOIST CAVITIES (AS PER OWNER)
- BATT INSULATION REQUIRED ABOVE GARAGE (R-31)
- RESILIENT METAL CHANNELS @ 24" O.C.
- 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH



FL2

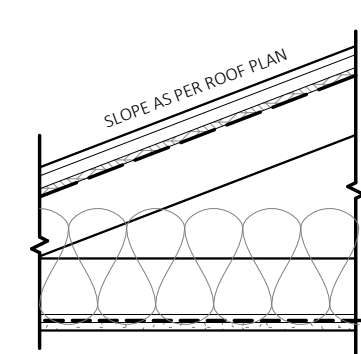
BASEMENT FLOOR ASSEMBLY - FL2
- 3" CONCRETE FLOOR SLAB
- 6" GRAVEL BASE ON ALL COMPACT FILL



FL3

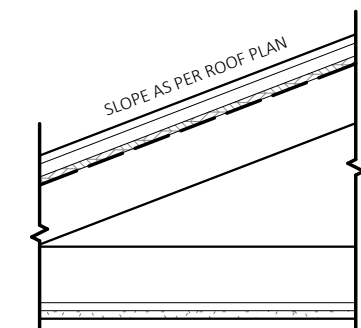
GARAGE FLOOR ASSEMBLY - FL3
- MIN. 4" CONCRETE FLOOR SLAB
(32 MPa W/ 5%-8% AIR)
- 6" GRAVEL BASE ON ALL COMPACT FILL
(MIN. 2% SLOPE TO GARAGE DOOR)

ROOF ASSEMBLY



RA1

SLOPED ROOF ASSEMBLY - RA1
- ASPHALT SHINGLES
- NON-PERFORATED, ASPHALT-IMPREGNATED FELT UNDERLAYMENT. PROVIDE ICE AND WATER SHIELD AT ROOF EDGE UP SLOPE TO 24" FROM INTERIOR WALL
- 7/16" OR 1/2" O.S.B. OR PLYWOOD ROOF SHEATHING W/H-CLIPS
- STICK FRAMED ROOF STRUCTURE AS PER LOFT ROOF FRAMING PLAN (A1.5)
- ROOF BAFFLES IN EACH CAVITIES TO ALLOW FOR VENTILATION(REFER TO DETAIL ON A4.2)
- 6 MIL. POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH

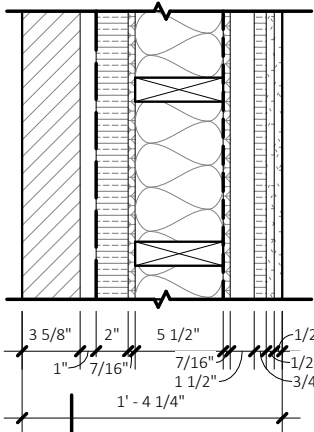


RA2

SLOPED ROOF ASSEMBLY - RA1b
- ASPHALT SHINGLES
- NON-PERFORATED, ASPHALT-IMPREGNATED FELT UNDERLAYMENT. PROVIDE ICE AND WATER SHIELD AT ROOF EDGE UP SLOPE TO 24" FROM INTERIOR WALL
- 7/16" OR 1/2" O.S.B. OR PLYWOOD ROOF SHEATHING W/H-CLIPS
- PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. AS PER APPROVED SHOP DRAWINGS
- PRE-FINISHED PERFORATED SOFFIT

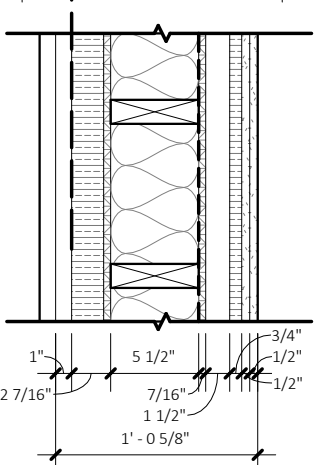
WALL ASSEMBLIES

DIMENSION NOTES:
1. ALL EXTERIOR DIMENSIONS TAKEN FROM EXTERIOR FACE OF EXERIOR MATERIAL AND INTERIOR FACE OF GYPSUM BOARD.
2. ALL INTERIOR DIMENSIONS TAKEN FRROM FACE OF WOOD STUDS.



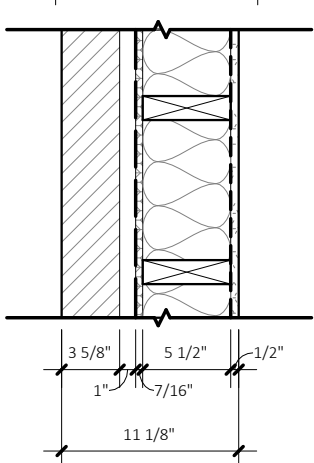
WA1

EXTERIOR WALL ASSEMBLY (BRICK/STONE) - WA1
- BRICK OR STONE, REFER TO ELEVATION
- 1" AIR SPACE
- TYVEK HOUSE WRAP
- 2" RIGID INSULATION (R-10)
- 7/16" O.S.B. EXTERIOR SHEATHING
- 2"x6" S.P.F. WOOD STUDS @ 16" O.C.
- FILL VOIDS W/BATT INSULATION (R-24)
- 6 MIL. POLY VAPOUR BARRIER
- 7/16" O.S.B. SHEATHING
- 2"x3" WOOD STRAPPING @ 24" O.C.
- RIGID SOUND INSULATION (SONOPAN OR SIMILAR)
- 2 LAYERS 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH



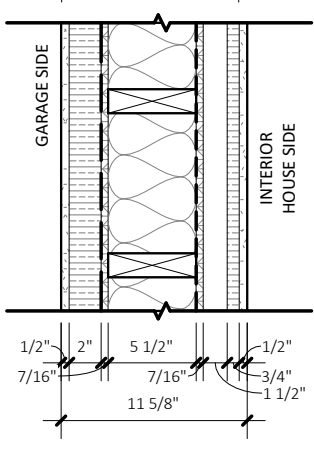
WA2

EXTERIOR WALL ASSEMBLY (SIDING) - WA2
- HORIZONTAL HARDIE BOARD LAP SIDING
- STRAPPING AS REQUIRED BY MANUFACTURER
- TYVEK HOUSE WRAP
- 2" RIGID INSULATION (R-10)
- 7/16" O.S.B. EXTERIOR SHEATHING
- 2"x6" S.P.F. WOOD STUDS @ 16" O.C.
- FILL VOIDS W/BATT INSULATION (R-24)
- 6 MIL. POLY VAPOUR BARRIER
- 7/16" O.S.B. SHEATHING
- 2"x3" WOOD STRAPPING @ 24" O.C.
- RIGID SOUND INSULATION (SONOPAN OR SIMILAR)
- 2 LAYERS 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH



WA3

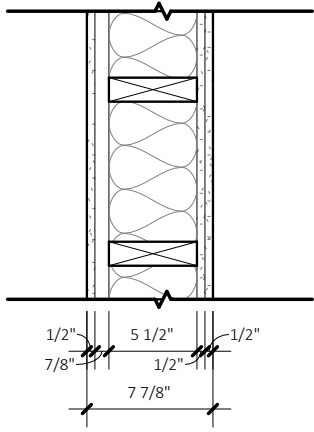
EXTERIOR WALL ASSEMBLY (STONE/BRICK) - WA3
- BRICK OR STONE, REFER TO ELEVATION
- 1" AIR SPACE
- TYVEK HOUSE WRAP
- 7/16" O.S.B. EXTERIOR SHEATHING
- 2"x6" S.P.F. WOOD STUDS @ 16" O.C.
- FILL VOIDS W/BATT INSULATION (R-24)
- 6 MIL. POLY VAPOUR BARRIER
- 1 LAYER 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH



WA4

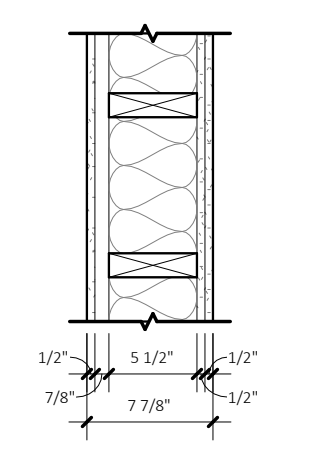
EXTERIOR WALL ASSEMBLY (GARAGE TO HOUSE) - WA3
- 1 LAYER 1/2" GYPSUM BOARD
- TYVEK HOUSE WRAP
- 2" RIGID INSULATION (R-10)
- 7/16" O.S.B. EXTERIOR SHEATHING
- 2"x6" S.P.F. WOOD STUDS @ 16" O.C.
- FILL VOIDS W/BATT INSULATION (R-24)
- 7/16" O.S.B. SHEATHING
- 2"x3" WOOD STRAPPING @ 24" O.C.
- RIGID SOUND INSULATION (SONOPAN OR SIMILAR)
- 1 LAYERS 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH

NOTE:
- PROVIDE SMOKE-TIGHT JOINTS
BETWEEN HOUSE AND GARAGE



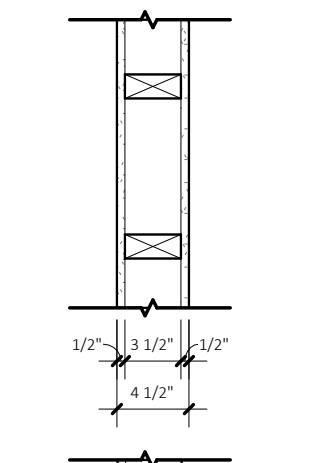
WA5

INTERIOR WALL ASSEMBLY - WA5
- TAPE, MUD/SAND AND PAINT FINISH
- 1 LAYER 1/2" GYPSUM BOARD
- 2"x3" WOOD STRAPPING @ 24" O.C.
- 2"x6" S.P.F. WOOD STUDS @ 16" O.C.
- FILL VOIDS W/SOUND ATTENUATION BATT INSULATION
- 7/16" O.S.B. SHEATHING
- 2 LAYERS 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH



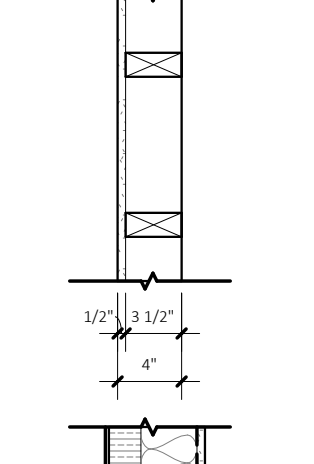
WA6

INTERIOR WALL ASSEMBLY - WA6
- TAPE, MUD/SAND AND PAINT FINISH
- 1 LAYER 1/2" GYPSUM BOARD
- METAL RESILIENT CHANNEL @ 24" O.C.
- 2"x6" S.P.F. WOOD STUDS @ 16" O.C.
- 2 LAYERS 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH



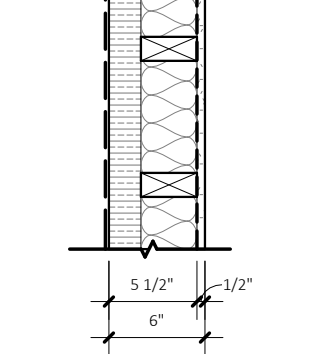
WA7

INTERIOR WALL ASSEMBLY - WA7
- TAPE, MUD/SAND AND PAINT FINISH
- 1 LAYER 1/2" GYPSUM BOARD
- 2"x4" S.P.F. WOOD STUDS @ 16" O.C.
- 1 LAYER 1/2" GYPSUM BOARD
- TAPE, MUD/SAND AND PAINT FINISH



WA8

INTERIOR WALL ASSEMBLY - WA5
- TAPE, MUD/SAND AND PAINT FINISH
- 1 LAYER 1/2" GYPSUM BOARD
- 2"x4" S.P.F. WOOD STUDS @ 16" O.C.



WA9

INTERIOR WALL ASSEMBLY - WA9
- TYVEK MOISTURE BARRIER
- 2" RIGID INSULATION (R-10)
- 2"x4" S.P.F. WOOD STUDS @ 16" O.C.
- FILL VOIDS W/BATT INSULATION (MIN. R-12)
- 6 MIL. POLY VAPOUR BARRIER

No.	REVISIONS	DATE

FINE LINE DRAFTING & DESIGN INC.

FINE LINE DRAFTING AND DESIGN INC.
519-871-4299
rodneym@finelinedraftingdesign.ca
finelinedraftingdesign.ca

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

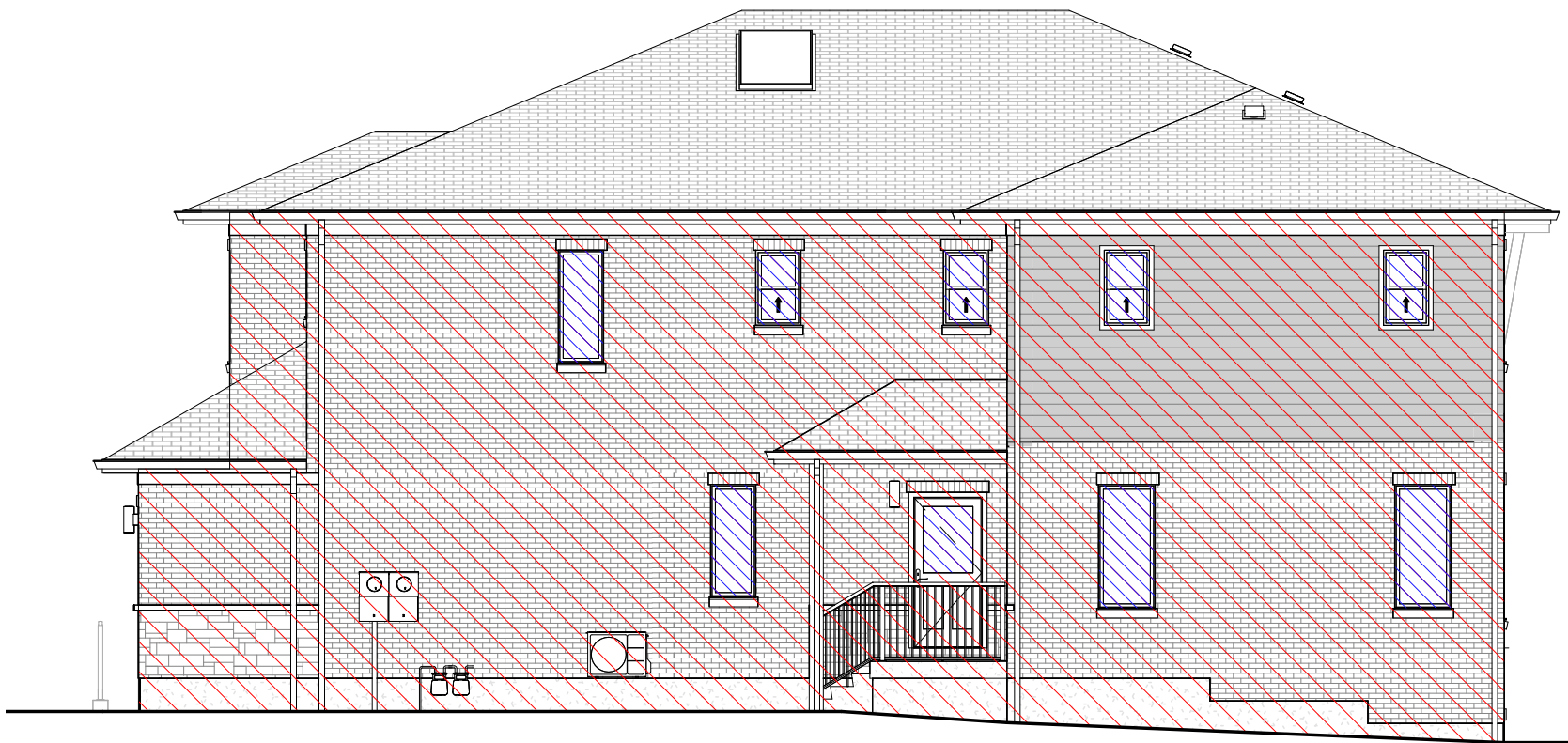
Rodney Friesen
Personal BCIN: 114065
Firm BCIN: 126303

CLIENT
SDIS GROUP INC.

PROJECT NAME
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO N0B 1E0

DRAWING TITLE
ASSEMBLIES AND SCHEDULES

DATE	2024.10.10	SHEET NO.	A0.2
SCALE	1" = 1'-0"		
PROJECT NO.	2024-053		



1 NORTH (RIGHT) UPO CALCULATION
A0.4 1/8" = 1'-0"

2 SOUTH (LEFT) UPO CALCULATION
A0.4 1/8" = 1'-0"



4 EAST (FRONT) UPO CALCULATION
A0.4 1/8" = 1'-0"

3 WEST (REAR) UPO CALCULATION
A0.4 1/8" = 1'-0"

SPATIAL SEPARATION CALCULATIONS					
ELEVATION	E.B.F. (FT²)	LIMITING DISTANCE (M)	PROPOSED UPO (FT²)	PROPOSED UPO (%)	PERMITTED UPO (%)
FRONT (EAST)	1,000	9.5	142	14.2	80.25
RIGHT (NORTH)	1,316	2.39	80	6.07	8.5
REAR (WEST)	1,374	± 27.71	331	24.09	100
LEFT (SOUTH)	1,757	2.51	82	4.67	9

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DRAWINGS ARE NOT TO BE SCALED.


No.	CHRONOLOGY	DATE
1	ISSUED FOR BUILDING PERMIT	2023.10.10

No.	REVISIONS	DATE

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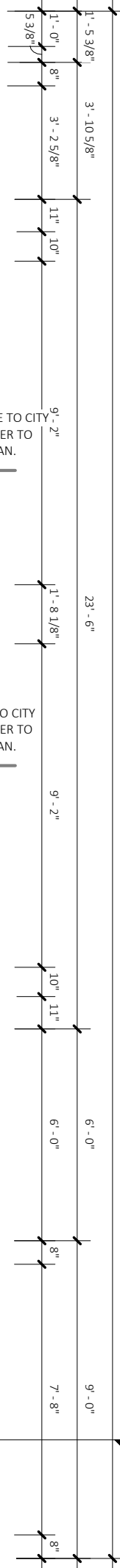

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Firm BCIN: 126303

CLIENT
SDIS GROUP INC.

PROJECT NAME
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO N0B 1E0

DRAWING TITLE
UPO CALCULATIONS

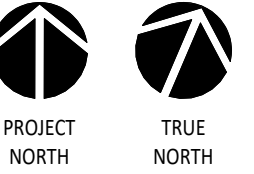
DATE	2024.10.10	SHEET NO.	A0.4
SCALE	As indicated		
PROJECT NO.	2024-053		



DATE	2024.10.10	SHEET NO. A1.1
SCALE	1/4" = 1'-0"	
PROJECT NO.	2024-053	


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No.	CHRONOLOGY	DATE
1	ISSUED FOR BUILDING PERMIT	2023.10.10



No.	REVISIONS	DATE

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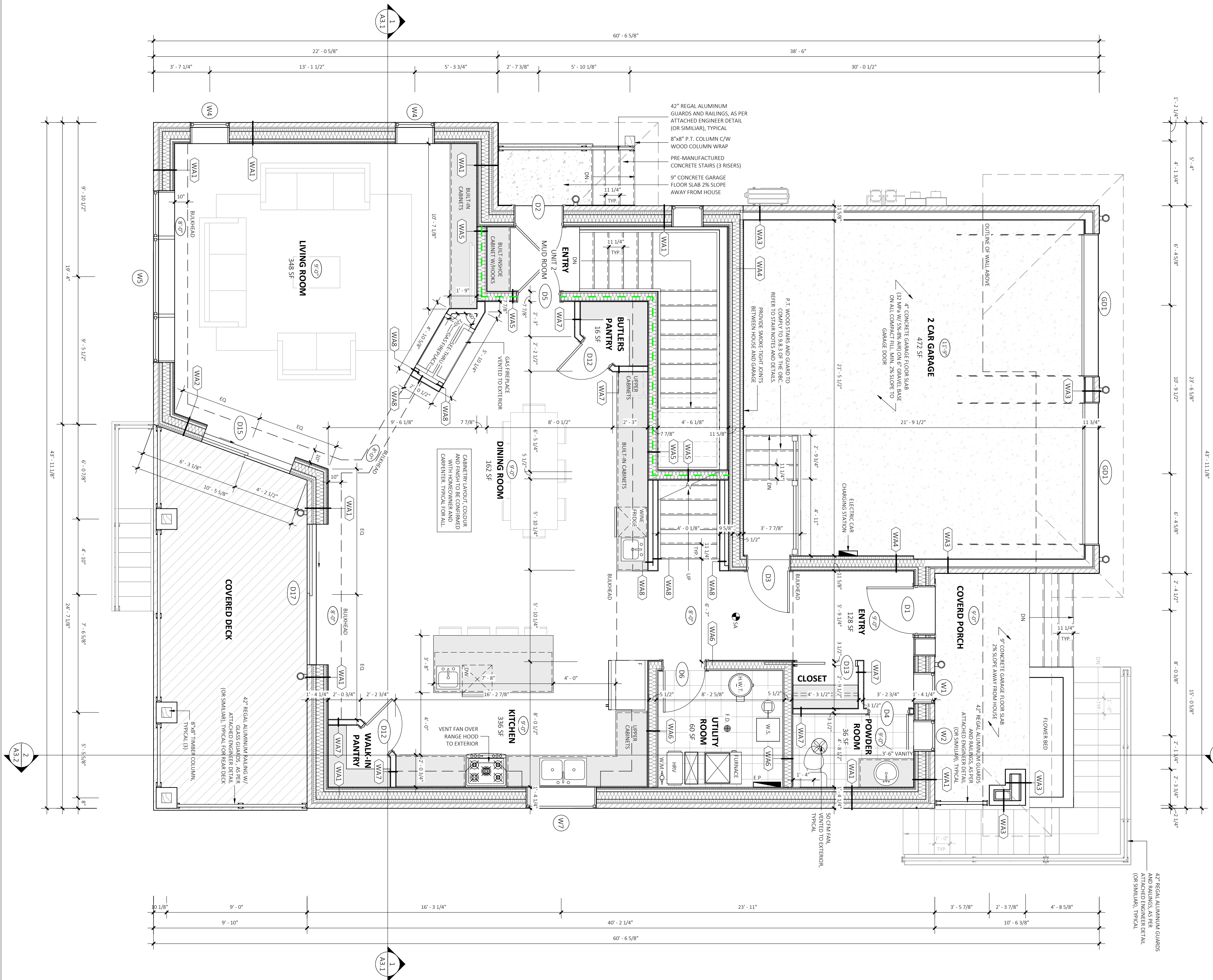
PROJECT NAME

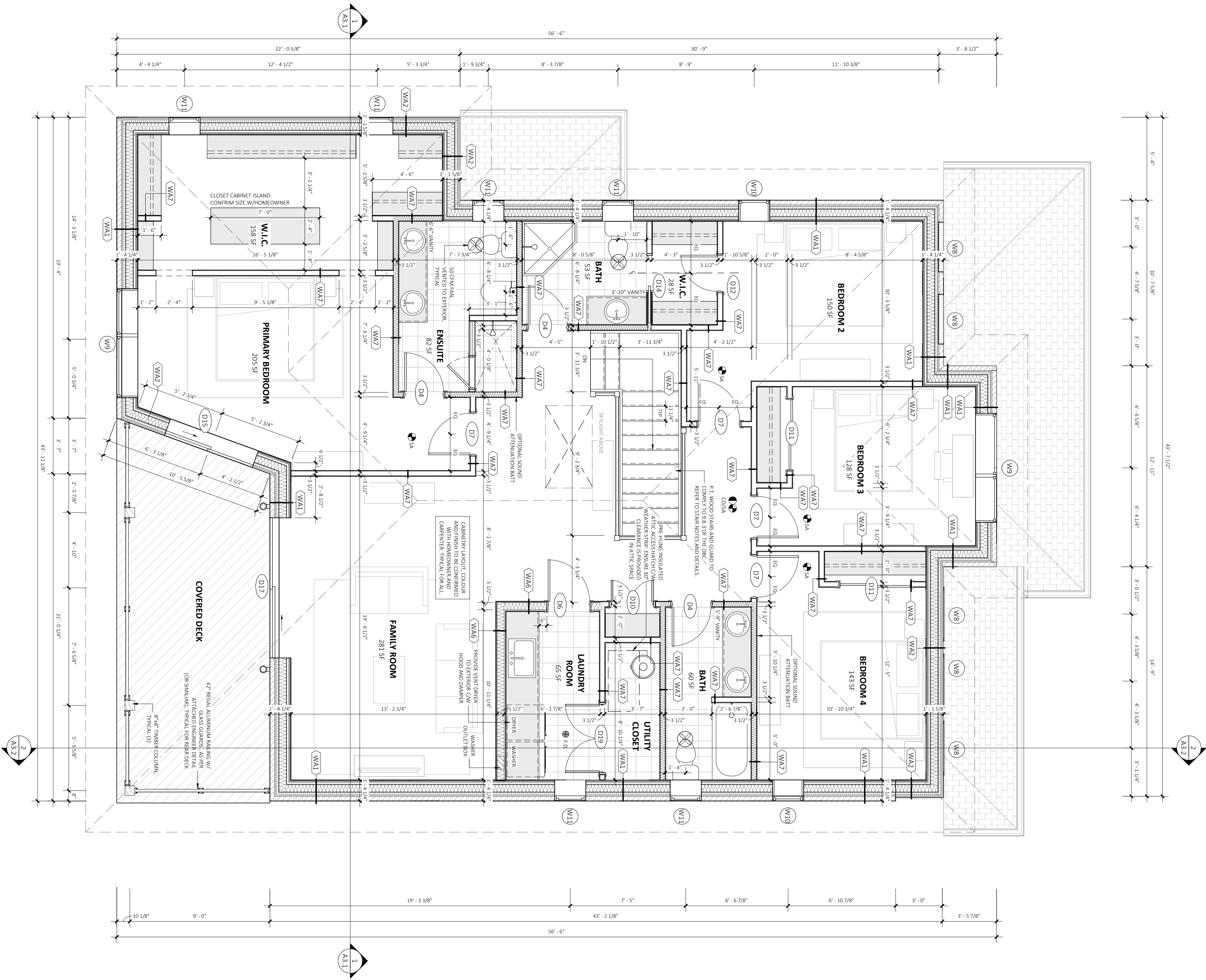
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE

MAIN FLOOR PLAN

DATE	2024.10.10	SHEET NO. A1.2
SCALE	1/4" = 1'-0"	
PROJECT NO.	2024-053	





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No.	CHRONOLOGY	DATE
1	ISSUED FOR BUILDING PERMIT	2023.10.10



No.	REVISIONS	DATE

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rodneym@finelinedraftingdesign.ca
finelinedraftingdesign.ca

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Rodney Friesen

Rodney Friesen
Personal BCIN: 114065
Firm BCIN: 126303

CLIENT

SDIS GROUP INC.

PROJECT NAME

CHMELAR RESIDENCE

30 ROSE STREET, AYR,
ONTARIO N0B 1E0

DRAWING TITLE

**SECOND FLOOR
PLAN**

DATE

2024.10.10

SHEET NO.

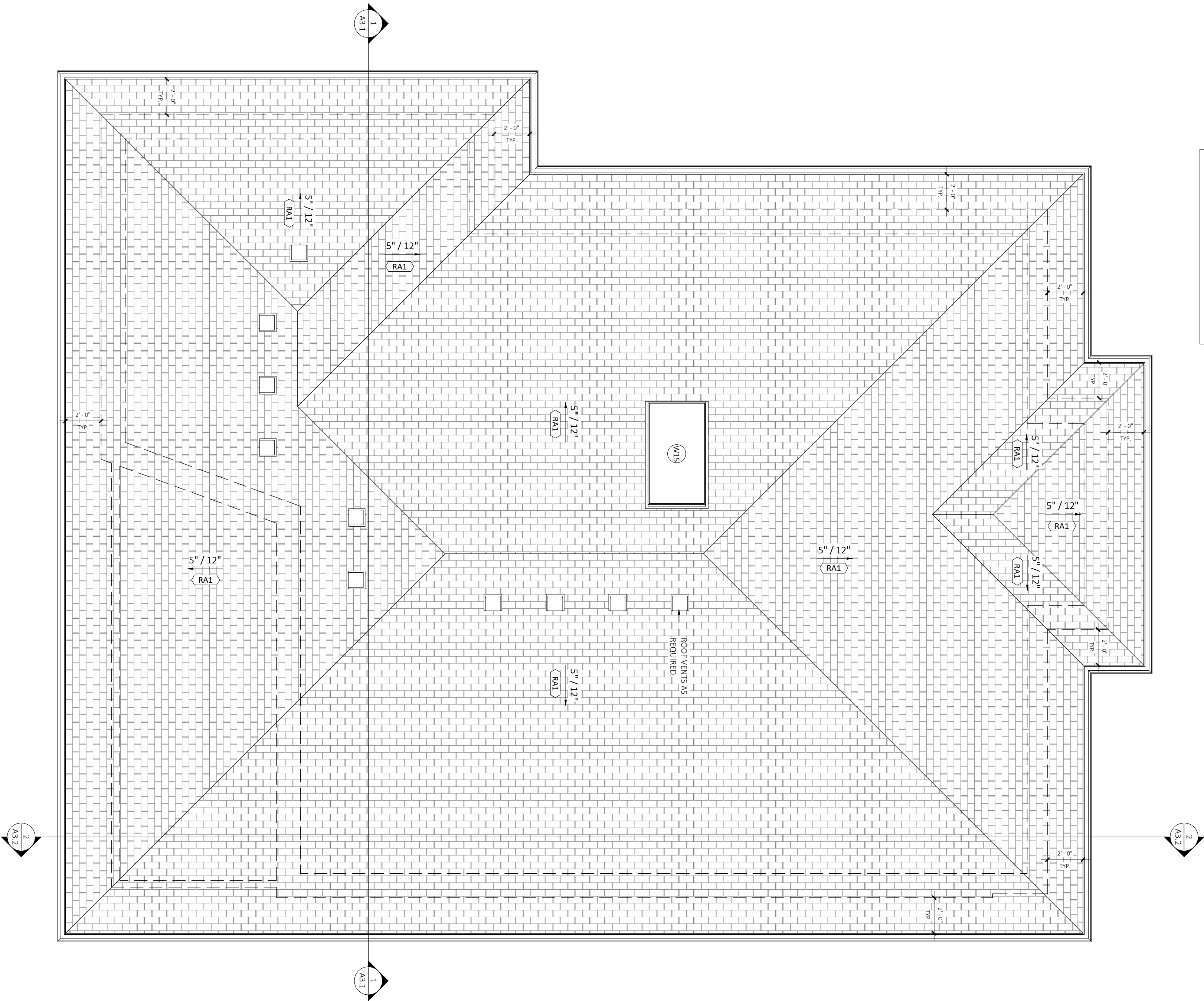
SCALE

1/4" = 1'-0"

A1.3

PROJECT NO.

2024-053



VENTING NOTE:
PROVIDE CONTINUOUS RIDGE AND SOFFIT VENTING OF ALL ROOFS.
MINIMUM 1" CLEARANCE FROM ROOF DECK TO VENT TOP.
VENTILATION FOR ROOF SPACES AT A RATIO OF 1:50 FT. MIN. OF
UNOBSTRUCTED VENTILATION FOR EACH 300 SQ. FT. OF
INSULATED CEILING AREA WITH NOT MORE THAN HALF THE
REQUIRED VENTILATION LOCATION AT THE EAVES.

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1	ISSUED FOR BUILDING PERMIT	2023.10.10




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PROJECT NAME

CHMELAR RESIDENCE

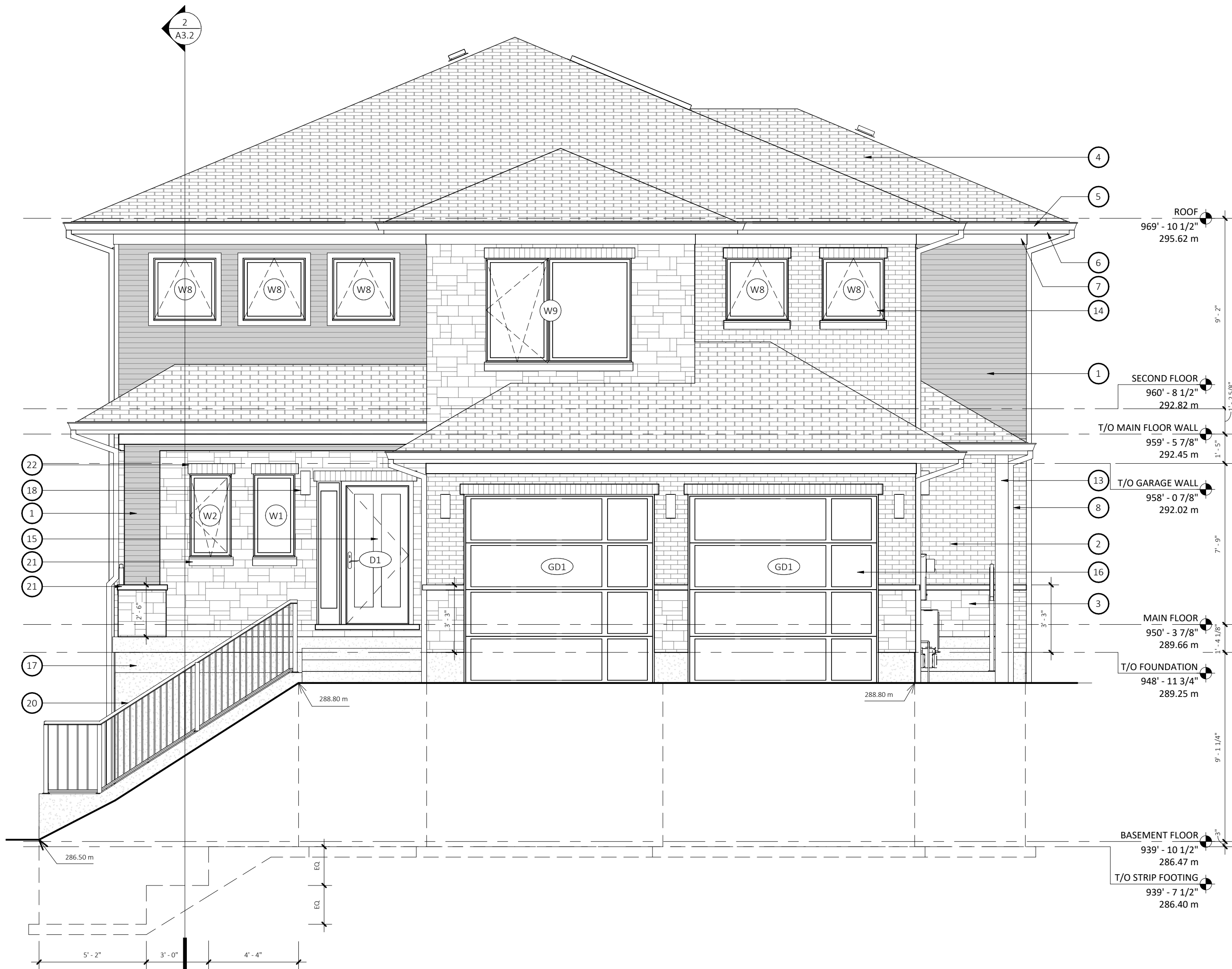
30 ROSE STREET, AYR,
ONTARIO N0B 1E0

DRAWING TITLE

ROOF PLAN

DATE	2024.10.10	SHEET NO.
SCALE	1/4" = 1'-0"	A1.4
PROJECT NO.	2024-053	

2024-10-10 10:23:32 PM



ELEVATION MATERIAL LEGEND

- | | | | | |
|--|---|---|---|---|
| 1 VERTICAL HARDIE BOARD LAP SIDING, OR SIMILAR.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 5 PRE-FINISHED ALUMINUM EAVESTROUGH.
COLOUR: TBD BY HOMEOWNER | 10 PROPOSED LOCATION FOR ELECTRICAL AND GAS METER.
SUBCONTRACTORS TO CONFIRM EXACT LOCATION. | 15 INSULATED EXTERIOR METAL DOOR.
COLOUR: TBD BY HOMEOWNER | 21 CONTINUOUS STONE SILL, SLOPED AWAY FROM HOUSE.
COLOUR: TBD BY HOMEOWNER |
| 2 EXTERIOR BRICK VENEER.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 6 PRE-FINISHED ALUMINUM FASCIA.
COLOUR: TBD BY HOMEOWNER | 11 PREFINISHED ALUMINUM BEAM COVER.
COLOUR: TBD BY HOMEOWNER | 16 OVERHEAD GARAGE DOOR.
COLOUR: TBD BY HOMEOWNER | 22 BRICK SOLIDERS ABOVE WINDOW/DOORS.
BRICK TO MATCH BRICK VENEER. |
| 3 EXTERIOR STONE VENEER.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 7 PRE-FINISHED ALUMINUM FRIEZE BOARD.
WIDTH AS PER DETAILS
COLOUR: TBD BY HOMEOWNER | 12 MECHANICAL EXHAUST VENT. REFER TO MECHAIICAL
DRAWINGS. | 17 EXPOSED CONCRETE FOUNDATION. | 23 ROOF VENTS. REFER TO ROOF PLAN. |
| 4 50 YEAR ASPHALT SHINGLES
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 8 PRE-FINISHED ALUMINUM DOWNSPOUT,
ENSURE CONNECTED TO WEEPING TILE.
COLOUR: TBD BY HOMEOWNER | 13 EXPOSED TIMBER BEAM COLUMN/BEAM.
COLOUR: TBD BY HOMEOWNER | 18 EXTERIOR WALL SCONE LIGHT. | 24 SKYLIGHT. REFER TO WINDOW ASSEMBLY. |
| | 9 PRE-FINISHED METAL (PERFOATED) SOFFIT
COLOUR: TBD BY HOMEOWNER | 14 VINYL WINDOWS, REFER TO WINDOW SCHEDULE.
COLOUR: TBD BY HOMEOWNER | 19 REGAL ALUMINUM GLASS GUARD, OR SIMILAR. | |
| | | | 20 REGAL ALUMINUM PICKET GUARD, OR SIMILAR. | |

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Firm BCIN: 126303

CLIENT

SDIS GROUP INC.

PROJECT NAME

CHMELAR RESIDENCE

30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE

EAST ELEVATION

DATE	2024.10.10	SHEET NO.	A2.1
SCALE	1/4" = 1'-0"		
PROJECT NO.	2024-053		

2024-10-10 10:10 6:23:34 PM



ELEVATION MATERIAL LEGEND

- | | | | | |
|--|---|---|---|---|
| 1 VERTICAL HARDIE BOARD LAP SIDING, OR SIMILAR.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 5 PRE-FINISHED ALUMINUM EAVESTROUGH.
COLOUR: TBD BY HOMEOWNER | 10 PROPOSED LOCATION FOR ELECTRICAL AND GAS METER.
SUBCONTRACTORS TO CONFIRM EXACT LOCATION. | 15 INSULATED EXTERIOR METAL DOOR.
COLOUR: TBD BY HOMEOWNER | 21 CONTINUOUS STONE SILL, SLOPED AWAY FROM HOUSE.
COLOUR: TBD BY HOMEOWNER |
| 2 EXTERIOR BRICK VENEER.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 6 PRE-FINISHED ALUMINUM FASCIA.
COLOUR: TBD BY HOMEOWNER | 11 PREFINISHED ALUMINUM BEAM COVER.
COLOUR: TBD BY HOMEOWNER | 16 OVERHEAD GARAGE DOOR.
COLOUR: TBD BY HOMEOWNER | 22 BRICK SOLIDERS ABOVE WINDOW/DOORS.
BRICK TO MATCH BRICK VENEER. |
| 3 EXTERIOR STONE VENEER.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 7 PRE-FINISHED ALUMINUM FRIEZE BOARD.
WIDTH AS PER DETAILS
COLOUR: TBD BY HOMEOWNER | 12 MECHANICAL EXHAUST VENT. REFER TO MECHANCAL
DRAWINGS. | 17 EXPOSED CONCRETE FOUNDATION. | 23 ROOF VENTS. REFER TO ROOF PLAN. |
| 4 50 YEAR ASPHALT SHINGLES
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 8 PRE-FINISHED ALUMINUM DOWNSPOUT,
ENSURE CONNECTED TO WEEPING TILE.
COLOUR: TBD BY HOMEOWNER | 13 EXPOSED TIMBER BEAM COLUMN/BEAM.
COLOUR: TBD BY HOMEOWNER | 18 EXTERIOR WALL SCONE LIGHT. | 24 SKYLIGHT. REFER TO WINDOW ASSEMBLY. |
| | 9 PRE-FINISHED METAL (PERFOATED) SOFFIT
COLOUR: TBD BY HOMEOWNER | 14 VINYL WINDOWS, REFER TO WINDOW SCHEDULE.
COLOUR: TBD BY HOMEOWNER | 19 REGAL ALUMINUM GLASS GUARD, OR SIMILAR. | |
| | | | 20 REGAL ALUMINUM PICKET GUARD, OR SIMILAR. | |

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1	ISSUED FOR BUILDING PERMIT	2023.10.10

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Rodney Friesen
Personal BCIN: 114065
Firm BCIN: 126303

CLIENT

SDIS GROUP INC.

PROJECT NAME

CHMELAR RESIDENCE

30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE

NORTH ELEVATION

DATE	2024.10.10	SHEET NO.
SCALE	1/4" = 1'-0"	A2.2
PROJECT NO.	2024-053	



ELEVATION MATERIAL LEGEND

- | | | | | |
|--|---|---|---|---|
| 1 VERTICAL HARDIE BOARD LAP SIDING, OR SIMILAR.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 5 PRE-FINISHED ALUMINUM EAVESTROUGH.
COLOUR: TBD BY HOMEOWNER | 10 PROPOSED LOCATION FOR ELECTRICAL AND GAS METER.
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COLOUR: TBD BY HOMEOWNER | 21 CONTINUOUS STONE SILL, SLOPED AWAY FROM HOUSE.
COLOUR: TBD BY HOMEOWNER |
| 2 EXTERIOR BRICK VENEER.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 6 PRE-FINISHED ALUMINUM FASCIA.
COLOUR: TBD BY HOMEOWNER | 11 PREFINISHED ALUMINUM BEAM COVER.
COLOUR: TBD BY HOMEOWNER | 16 OVERHEAD GARAGE DOOR.
COLOUR: TBD BY HOMEOWNER | 22 BRICK SOLIDERS ABOVE WINDOW/DOORS.
BRICK TO MATCH BRICK VENEER. |
| 3 EXTERIOR STONE VENEER.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 7 PRE-FINISHED ALUMINUM FRIEZE BOARD.
WIDTH AS PER DETAILS
COLOUR: TBD BY HOMEOWNER | 12 MECHANICAL EXHAUST VENT. REFER TO MECHANCAL
DRAWINGS. | 17 EXPOSED CONCRETE FOUNDATION. | 23 ROOF VENTS. REFER TO ROOF PLAN. |
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COLOUR: TBD BY HOMEOWNER | 18 EXTERIOR WALL SCONE LIGHT. | 24 SKYLIGHT. REFER TO WINDOW ASSEMBLY. |
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COLOUR: TBD BY HOMEOWNER | 14 VINYL WINDOWS, REFER TO WINDOW SCHEDULE.
COLOUR: TBD BY HOMEOWNER | 19 REGAL ALUMINUM GLASS GUARD, OR SIMILAR. | |
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No.	CHRONOLOGY	DATE
1	ISSUED FOR BUILDING PERMIT	2023.10.10

No.	REVISIONS	DATE

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Rodney Friesen
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Firm BCIN: 126303

CLIENT

SDIS GROUP INC.

PROJECT NAME

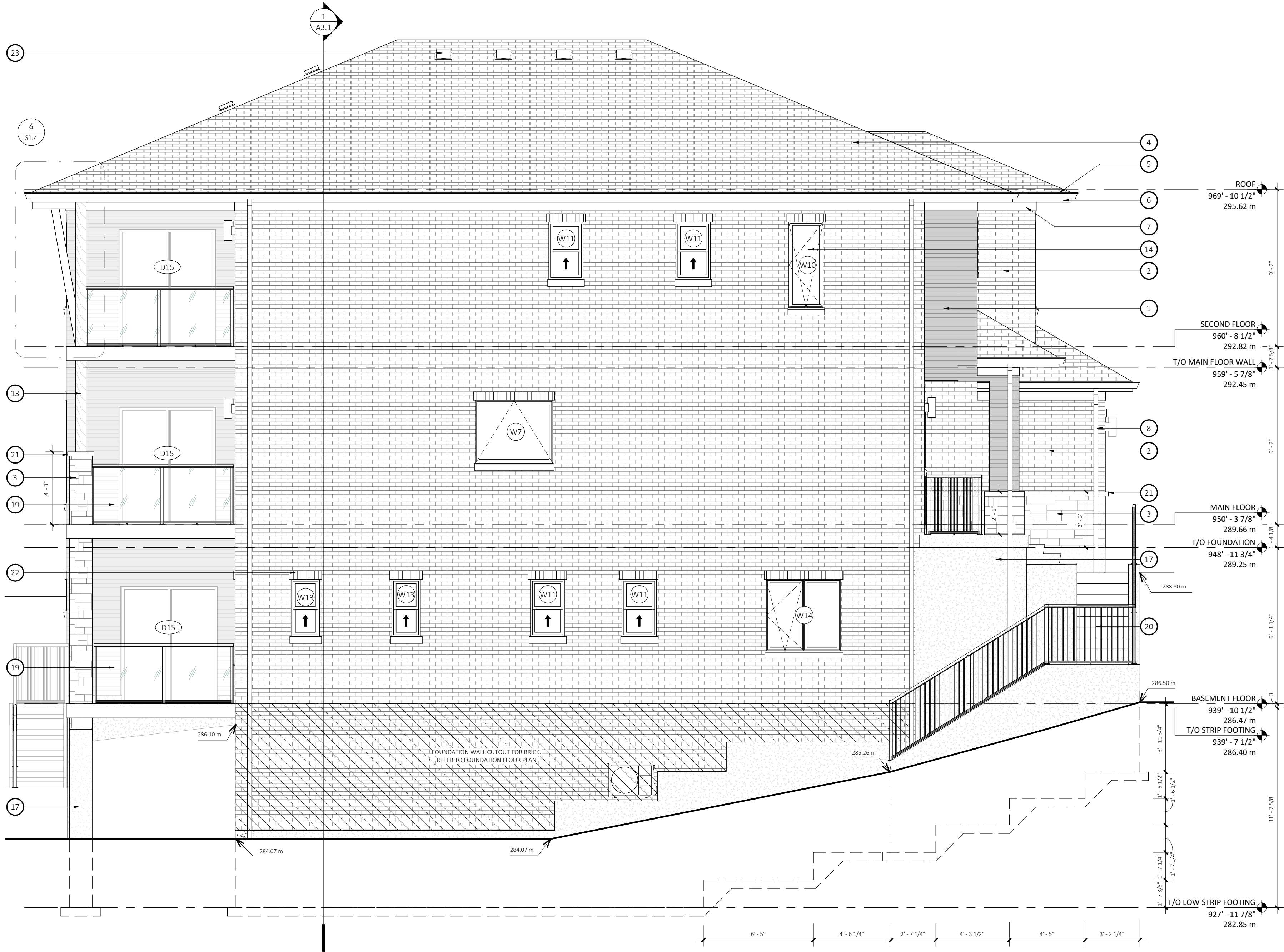
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE

WEST ELEVATION

DATE	2024.10.10	SHEET NO.
SCALE	1/4" = 1'-0"	A2.3
PROJECT NO.	2024-053	

2024-10-10 6:23:39 PM



ELEVATION MATERIAL LEGEND

- | | | | | |
|--|---|---|---|---|
| 1 VERTICAL HARDIE BOARD LAP SIDING, OR SIMILAR.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 5 PRE-FINISHED ALUMINUM EAVESTROUGH.
COLOUR: TBD BY HOMEOWNER | 10 PROPOSED LOCATION FOR ELECTRICAL AND GAS METER.
SUBCONTRACTORS TO CONFIRM EXACT LOCATION. | 15 INSULATED EXTERIOR METAL DOOR.
COLOUR: TBD BY HOMEOWNER | 21 CONTINUOUS STONE SILL, SLOPED AWAY FROM HOUSE.
COLOUR: TBD BY HOMEOWNER |
| 2 EXTERIOR BRICK VENEER.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 6 PRE-FINISHED ALUMINUM FASCIA.
COLOUR: TBD BY HOMEOWNER | 11 PREFINISHED ALUMINUM BEAM COVER.
COLOUR: TBD BY HOMEOWNER | 16 OVERHEAD GARAGE DOOR.
COLOUR: TBD BY HOMEOWNER | 22 BRICK SOLIDERS ABOVE WINDOW/DOORS.
BRICK TO MATCH BRICK VENEER. |
| 3 EXTERIOR STONE VENEER.
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 7 PRE-FINISHED ALUMINUM FRIEZE BOARD.
WIDTH AS PER DETAILS
COLOUR: TBD BY HOMEOWNER | 12 MECHANICAL EXHAUST VENT. REFER TO MECHANCAL
DRAWINGS. | 17 EXPOSED CONCRETE FOUNDATION. | 23 ROOF VENTS. REFER TO ROOF PLAN. |
| 4 50 YEAR ASPHALT SHINGLES
COLOUR: TBD BY HOMEOWNER
STYLE: TBD BY HOMEOWNER | 8 PRE-FINISHED ALUMINUM DOWNSPOUT,
ENSURE CONNECTED TO WEEPING TILE.
COLOUR: TBD BY HOMEOWNER | 13 EXPOSED TIMBER BEAM COLUMN/BEAM.
COLOUR: TBD BY HOMEOWNER | 18 EXTERIOR WALL SCONE LIGHT. | 24 SKYLIGHT. REFER TO WINDOW ASSEMBLY. |
| | 9 PRE-FINISHED METAL (PERFOATED) SOFFIT
COLOUR: TBD BY HOMEOWNER | 14 VINYL WINDOWS, REFER TO WINDOW SCHEDULE.
COLOUR: TBD BY HOMEOWNER | 19 REGAL ALUMINUM GLASS GUARD, OR SIMILAR. | |

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DRAWINGS ARE NOT TO BE SCALED.

No.	CHRONOLOGY	DATE
1	ISSUED FOR BUILDING PERMIT	2023.10.10

No.	REVISIONS	DATE

FINE LINE DRAFTING & DESIGN INC.

FINE LINE DRAFTING AND DESIGN INC.
519-871-4299
rodneym@finelinedraftingdesign.ca
finelinedraftingdesign.ca

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Rodney Friesen
Rodney Friesen
Personal BCIN: 114065
Firm BCIN: 126303

CLIENT

SDIS GROUP INC.

PROJECT NAME

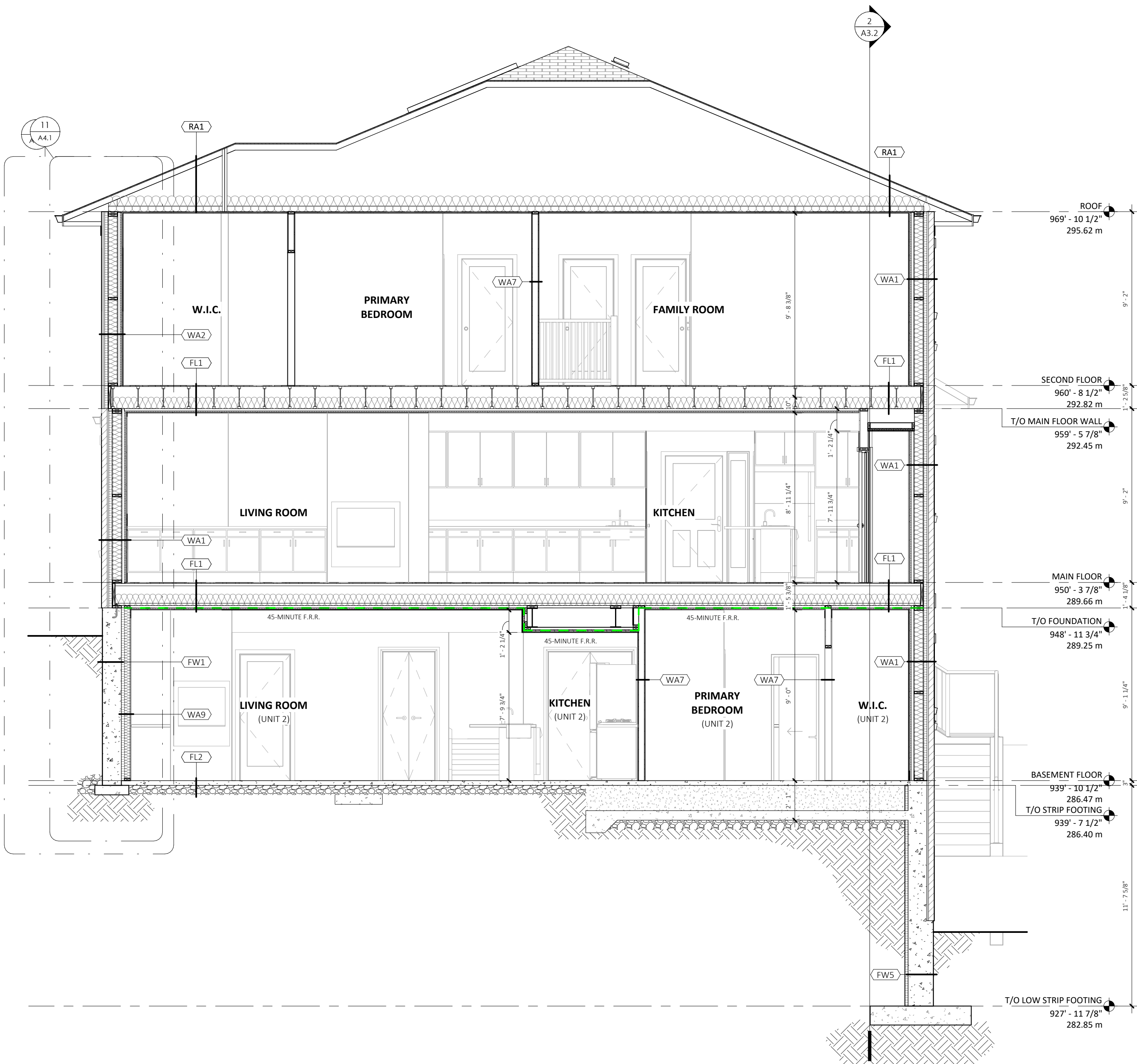
CHMELAR RESIDENCE

30 ROSE STREET, AYR,
ONTARIO N0B 1E0

DRAWING TITLE

SOUTH ELEVATION

DATE	2024.10.10	SHEET NO.
SCALE	1/4" = 1'-0"	A2.4
PROJECT NO.	2024-053	



1
A3.1 BUILDING SECTION 1
1/4" = 1'-0"

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CHMELAR RESIDENCE

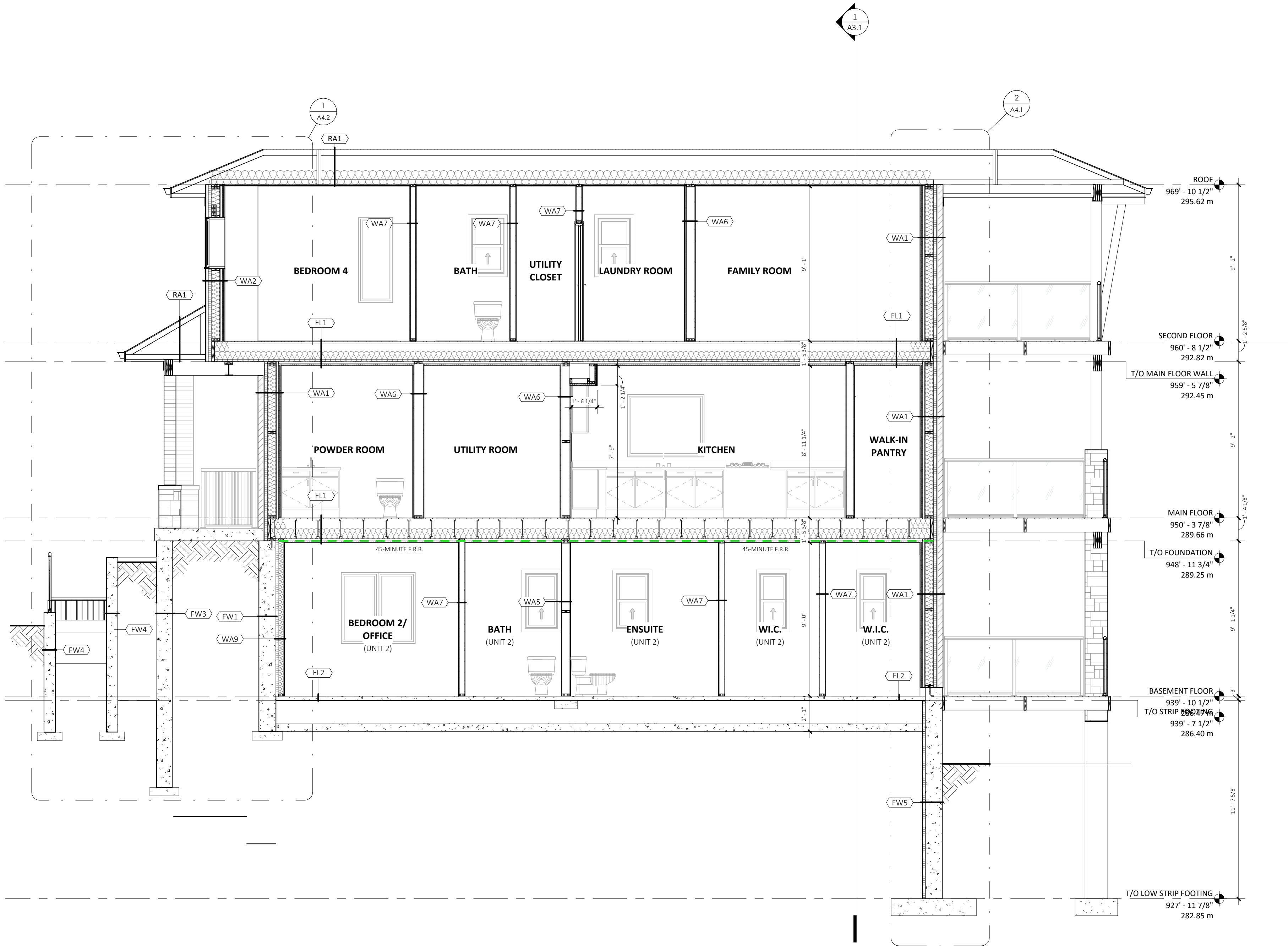
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE

BUILDING SECTION

DATE	2024.10.10	SHEET NO.
SCALE	1/4" = 1'-0"	A3.1
PROJECT NO.	2024-053	

2024-10-10 10:06:23:40 PM



2
A3.2
BUILDING SECTION 2
1/4" = 1'-0"

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PROJECT NAME
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

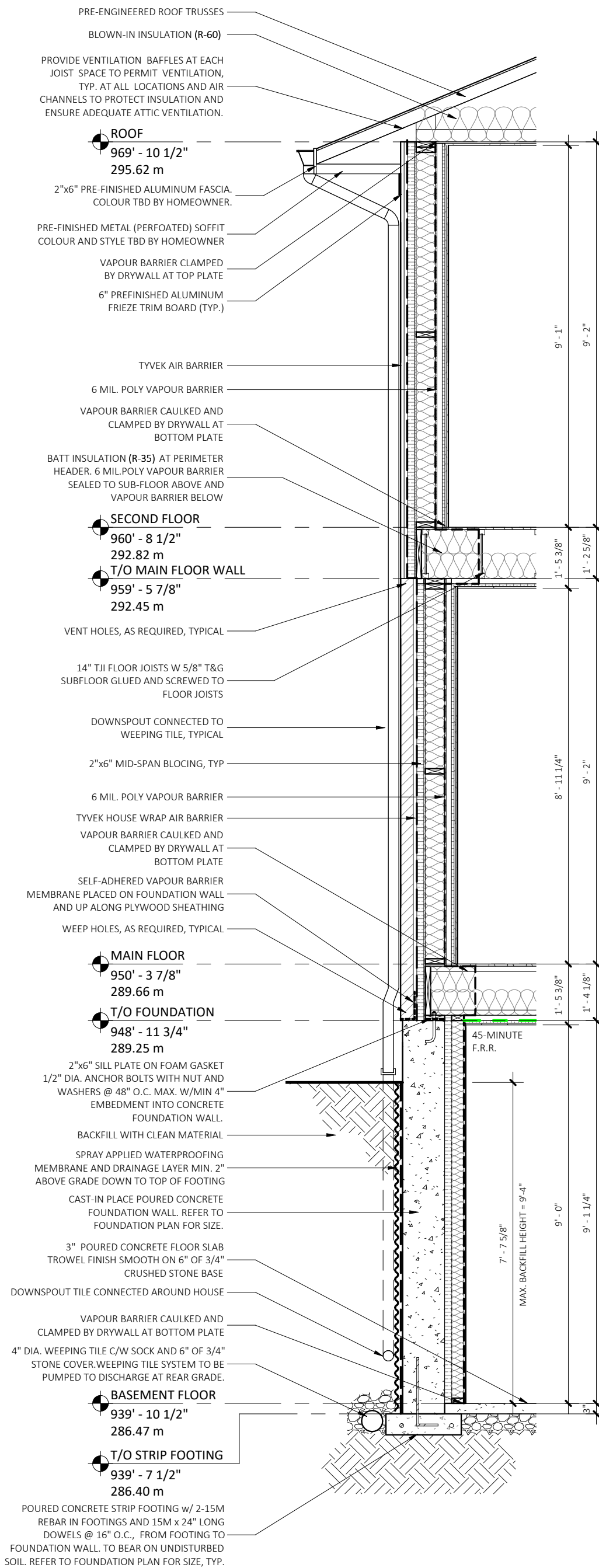
DRAWING TITLE
BUILDING SECTION

DATE	2024.10.10	SHEET NO.
SCALE	1/4" = 1'-0"	A3.2
PROJECT NO.	2024-053	

2024-10-10 6:23:41 PM

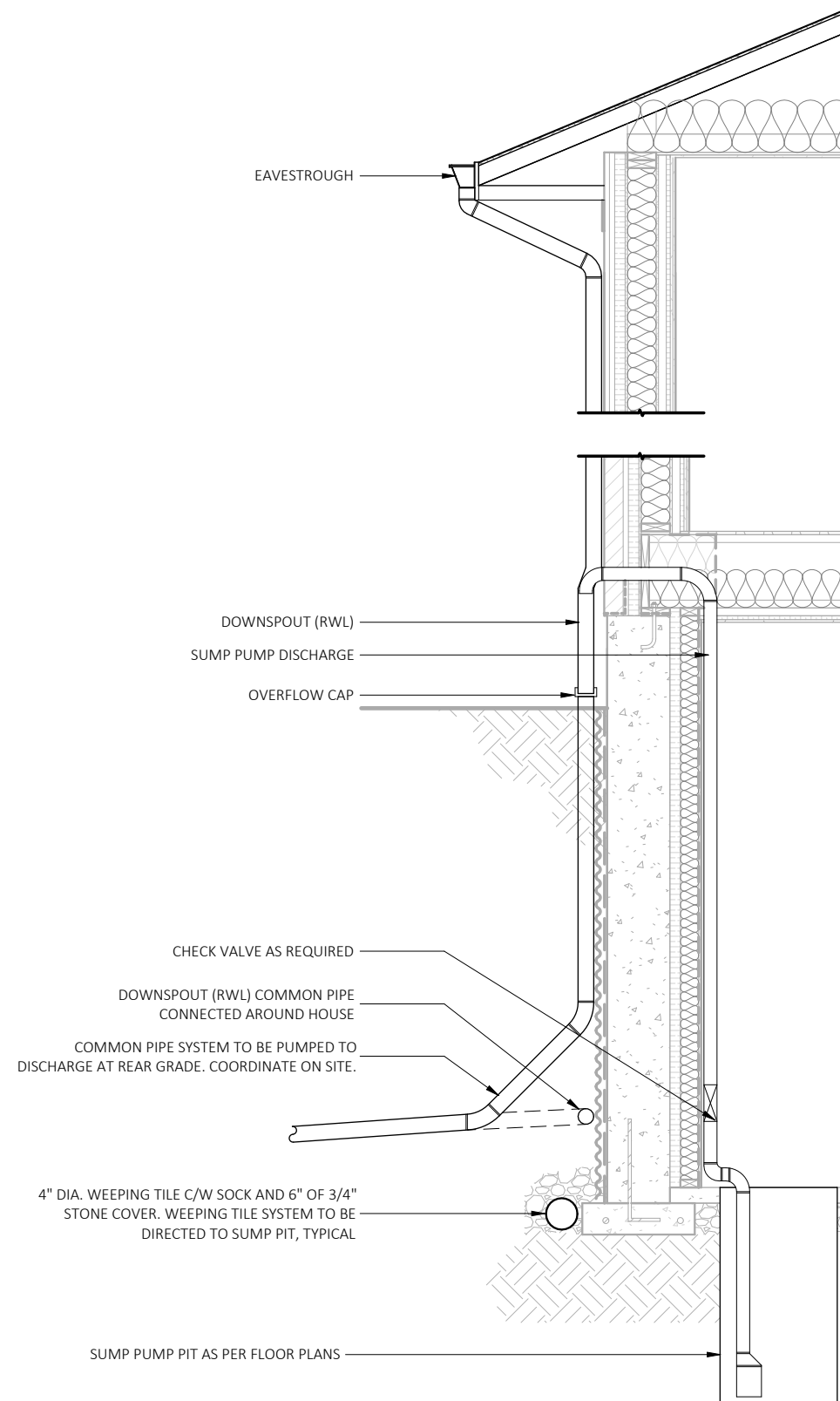
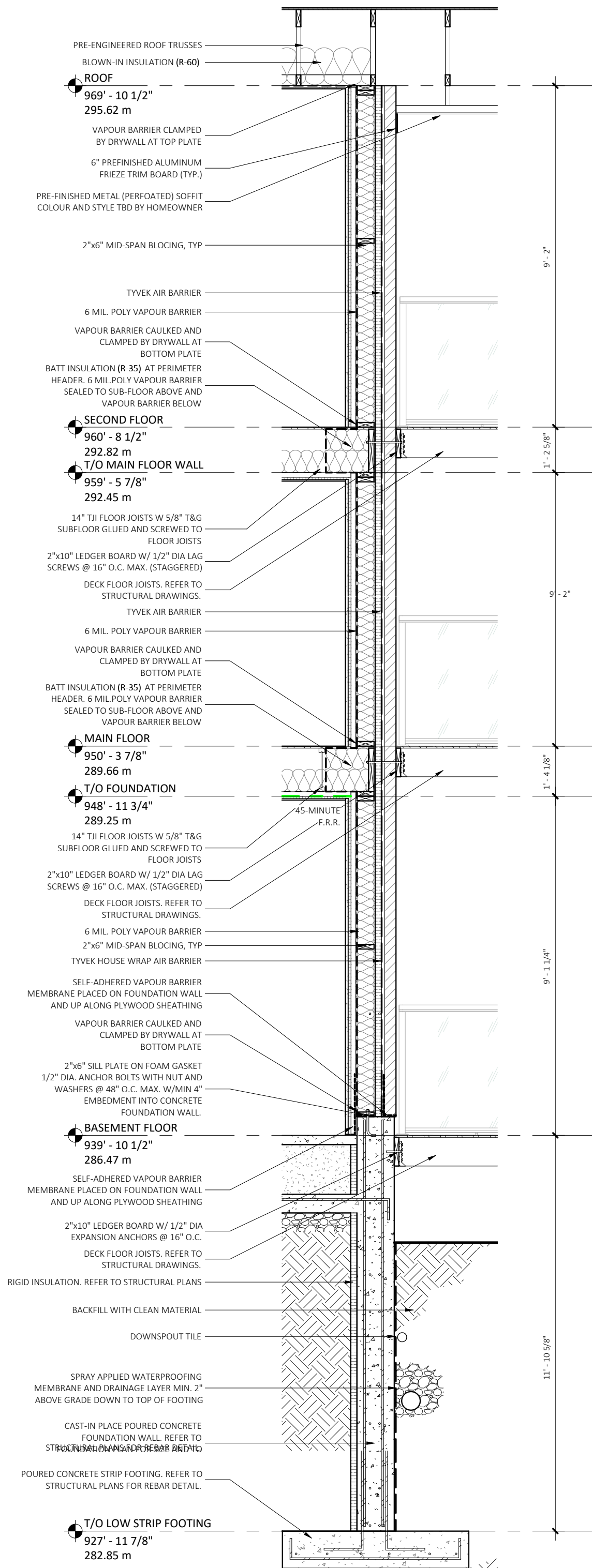
1
A4.1

TYPICAL WALL SECTION
3/8" = 1'-0"



2
A4.1

TYPICAL WALKOUT BASEMENT SECTION
3/8" = 1'-0"



3
A4.1

RWL AND WEEPING TILE DETAIL
3/8" = 1'-0"

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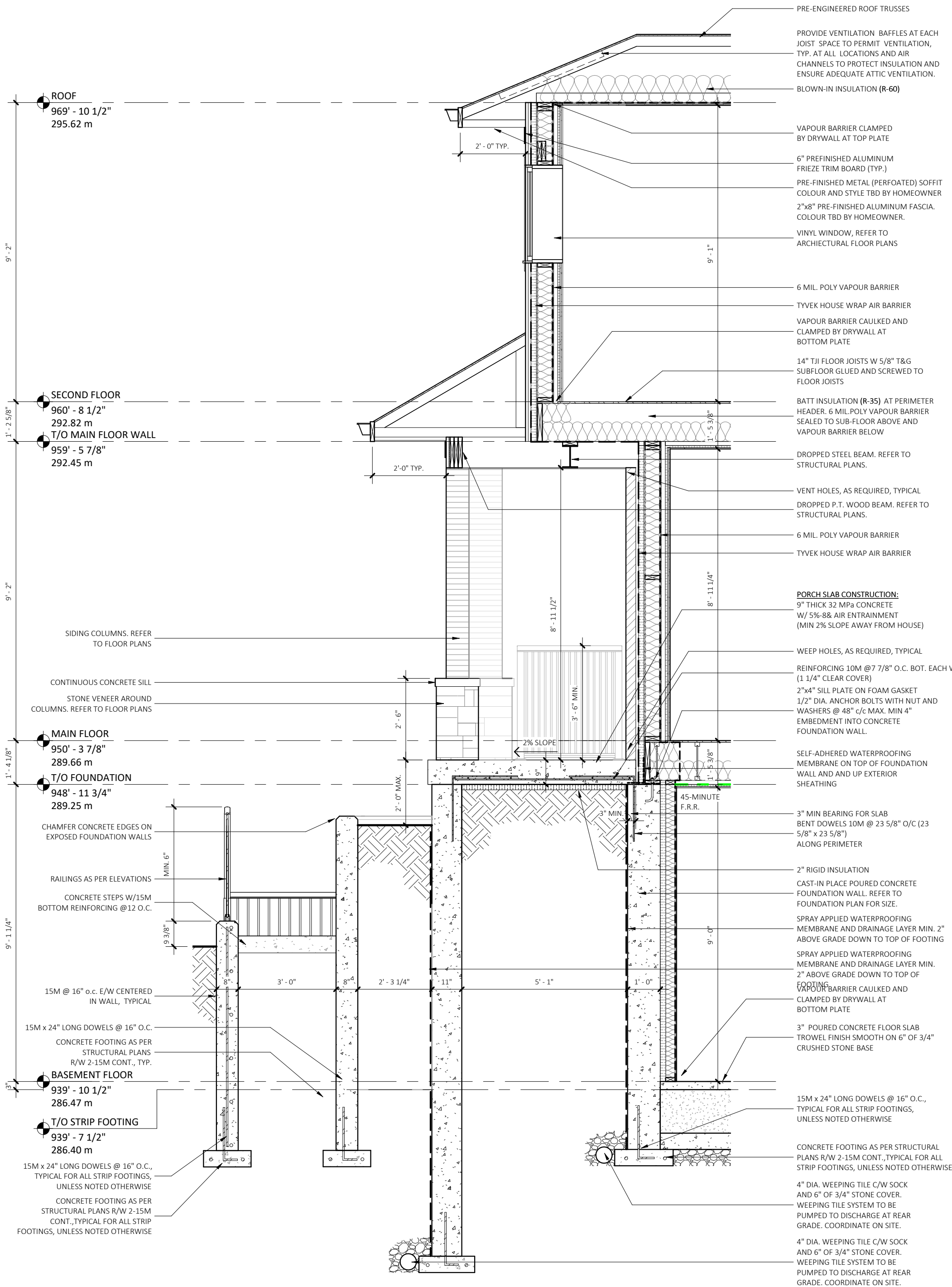
PROJECT NAME

CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO N0B 1E0

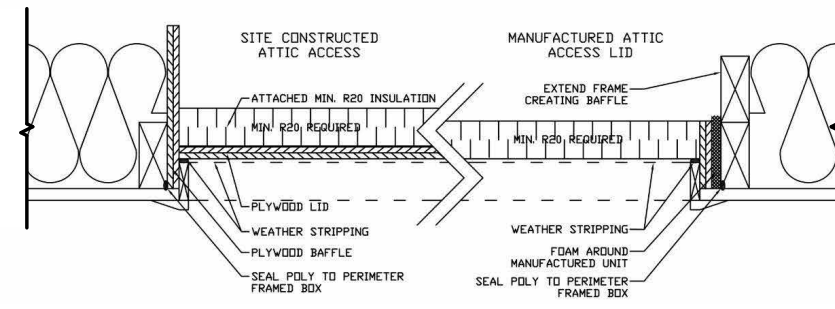
DRAWING TITLE

TYPICAL WALL SECTIONS

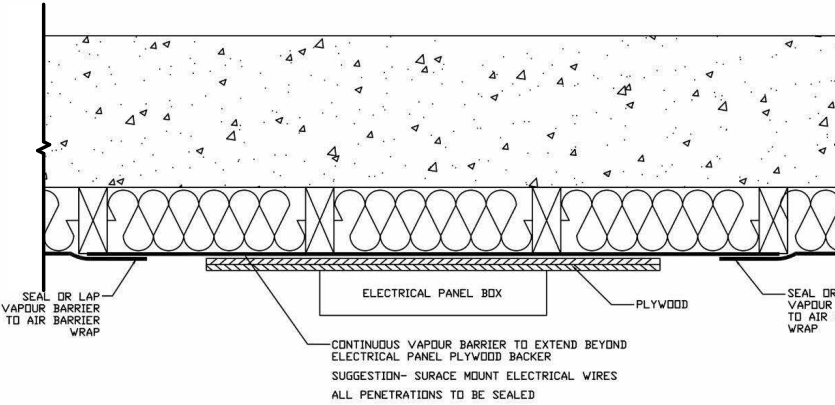
DATE	2024.10.10	SHEET NO.
SCALE	3/8" = 1'-0"	A4.1
PROJECT NO.	2024-053	



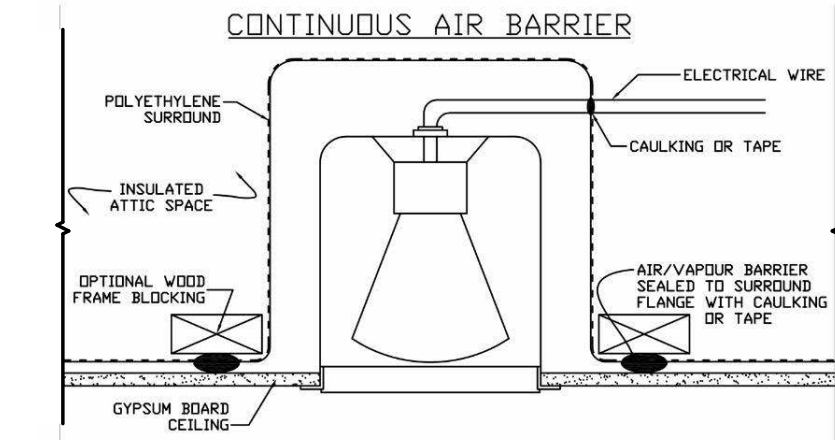
1 FRONT PORCH SECTION
A4.2 3/8" = 1'-0"



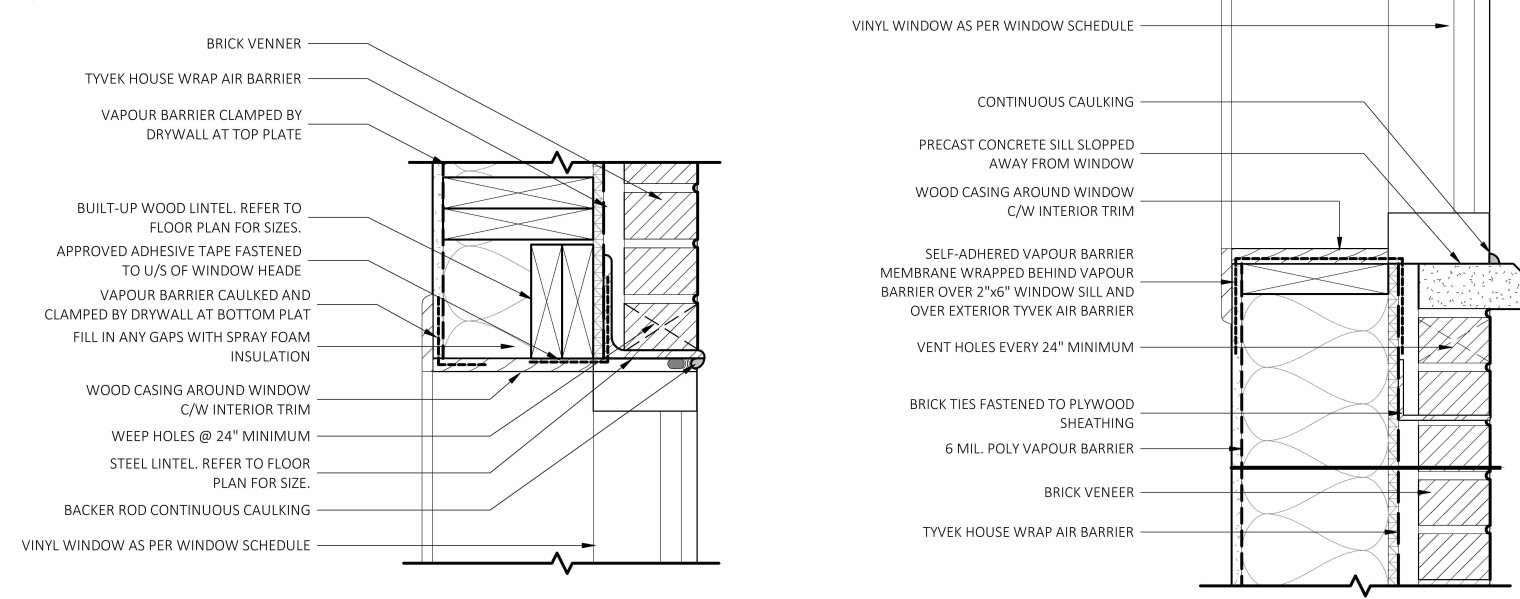
2 TYPICAL ATTIC ACCESS DETAIL
A4.2 3/4" = 1'-0"



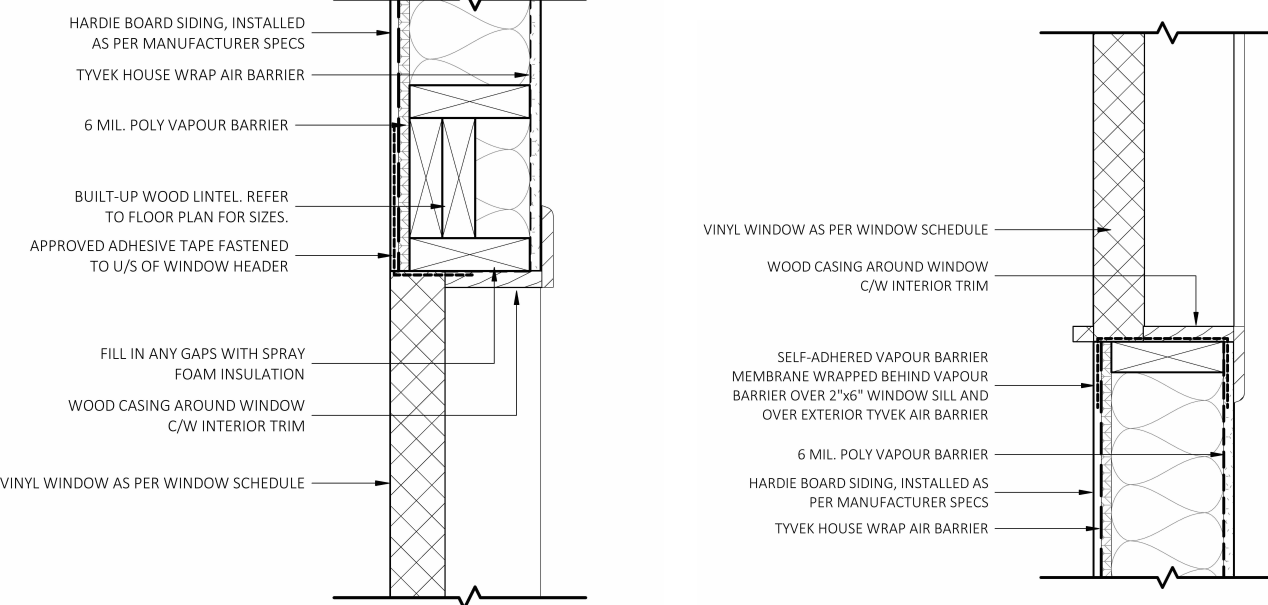
3 TYPICAL ELECTRICAL PANEL (BASEMENT)
A4.2 3/4" = 1'-0"



4 TYPICAL FAN OR REVERSED LIGHT DETAIL
A4.2 3/4" = 1'-0"



5 TYP. WINDOW SILL/HEADER DETAIL (BRICK)
A4.2 1 1/2" = 1'-0"



6 TYP. WINDOW SILL/HEADER DETAIL (SIDING)
A4.2 1 1/2" = 1'-0"

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No.	REVISIONS	DATE

FINE LINE

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rodneym@finelinedraftingdesign.ca
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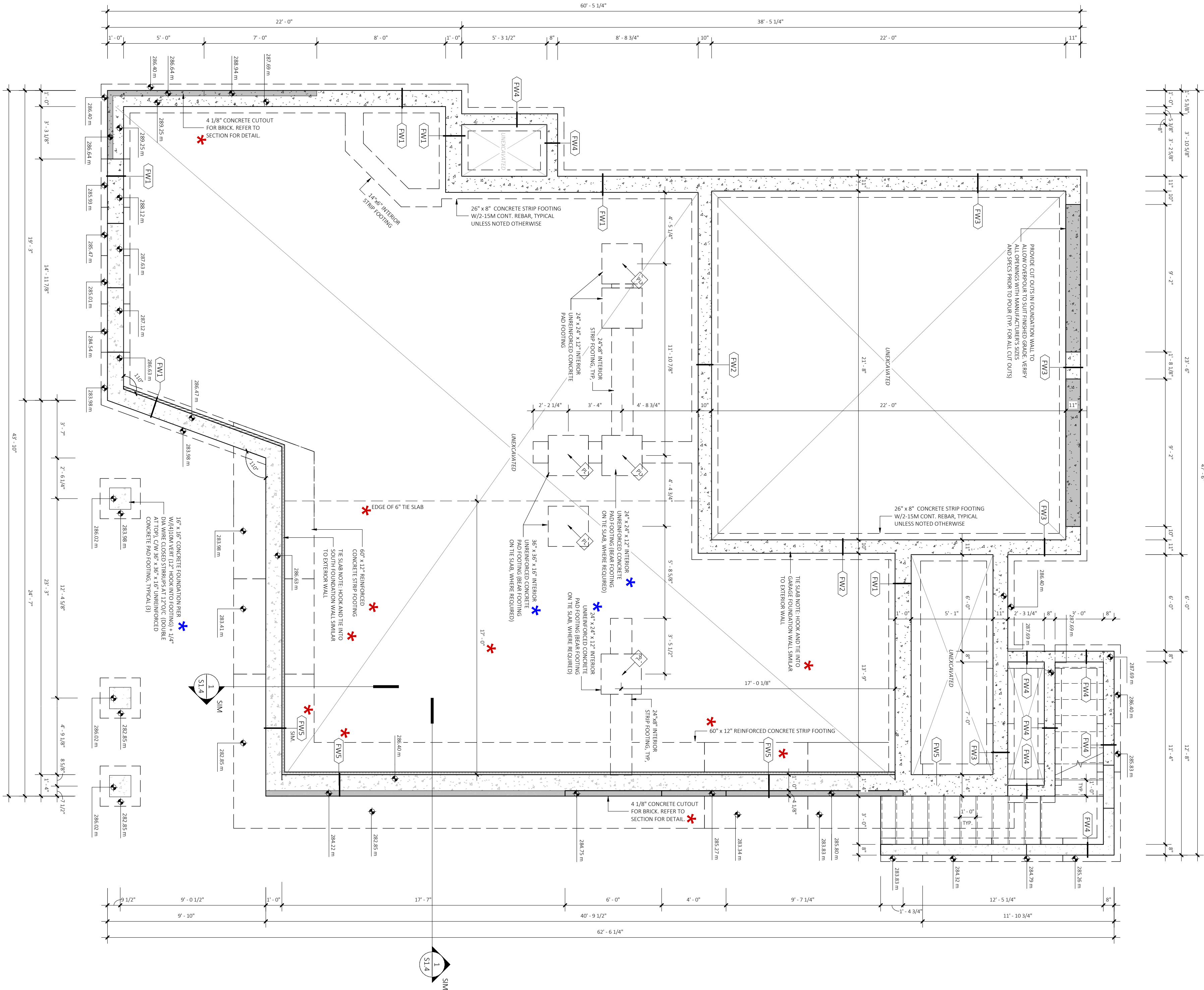
Rodney Friesen
Rodney Friesen
Personal BCIN: 114065
Firm BCIN: 126303

CLIENT
SDIS GROUP INC.

PROJECT NAME
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO N0B 1E0

DRAWING TITLE
**TYPICAL DETAILS
AND FRONT PORCH
SECTION**

DATE	2024.10.10	SHEET NO.	A4.2
SCALE	As indicated		
PROJECT NO.	2024-053		

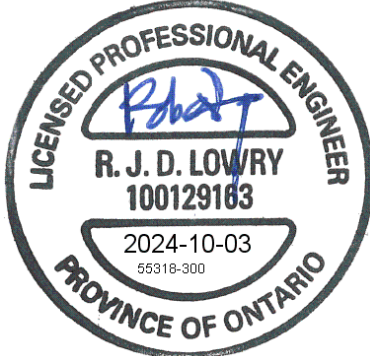


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* For structural design of beams (assoc posts, columns and pad fgs) & porch piers w/ fgs, as noted on S1.1, S1.2 & S1.3.



* For structural design of reinforced foundation wall, footing and tie slab, as noted on S1.1 & S1.3.

No.	REVISIONS	DATE

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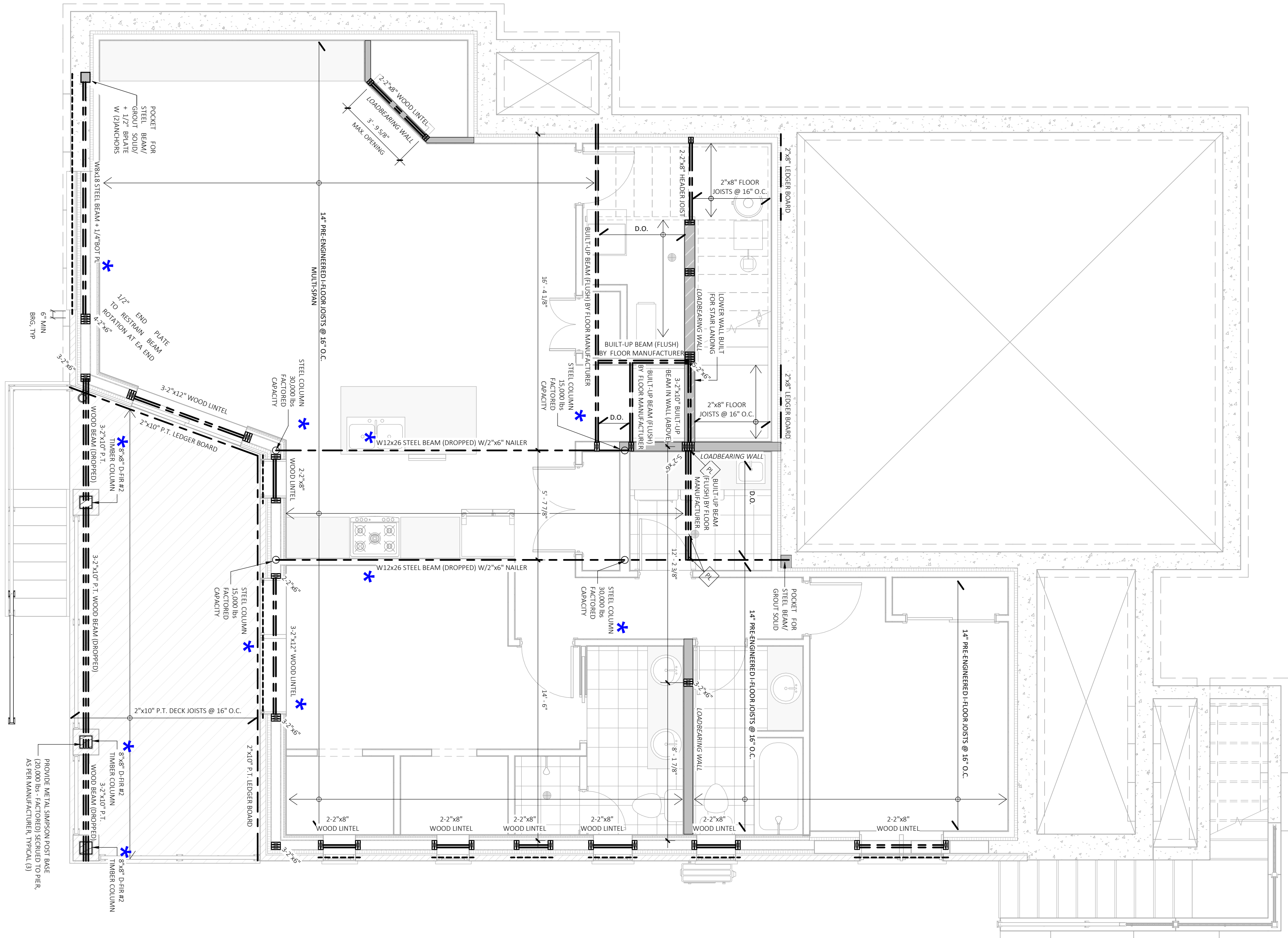
519-743-6500
MTE PROJECT NO. 55318-300

CLIENT
SDIS GROUP INC.

PROJECT NAME
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE
FOUNDATION FRAMING PLAN

DATE	2024.10.10	SHEET NO.
SCALE	1/4" = 1'-0"	S1.1
PROJECT NO.	2024-053	



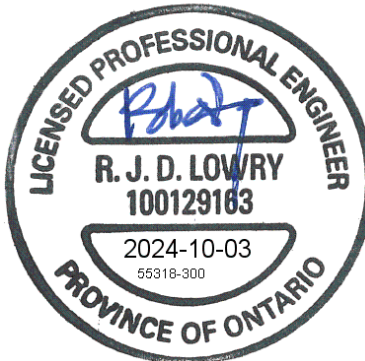
TYPICAL EXTERIOR WALL OPENINGS:
7\"/>

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*
For structural design of reinforced foundation wall, footing and tie slab, as noted on S1.1 & S1.3.

No.	REVISIONS	DATE

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Engineers, Scientists, Surveyors

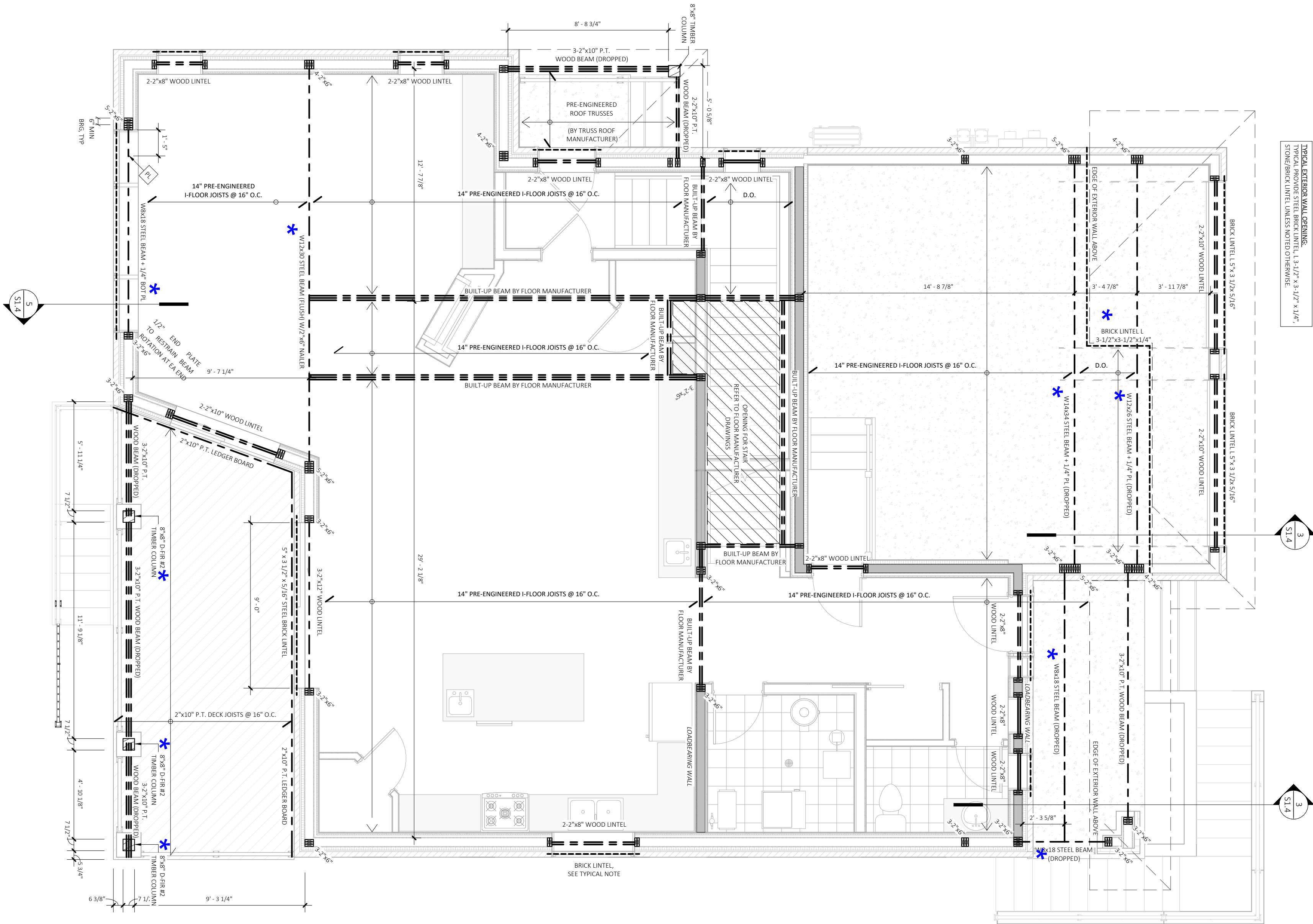
519-743-6500
MTE PROJECT NO. 55318-300

CLIENT
SDIS GROUP INC.

PROJECT NAME
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE
**MAIN FLOOR
FRAMING PLAN**

DATE	2024.10.10	SHEET NO.	S1.2
SCALE	1/4" = 1'-0"		
PROJECT NO.	2024-053		



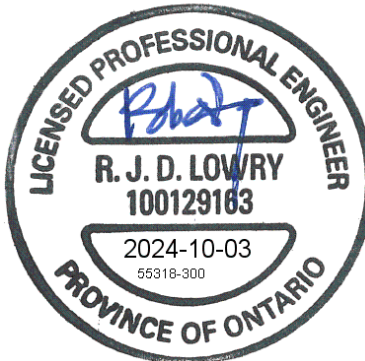
TYPICAL EXTERIOR WALL OPENING:
TYPICAL PROVIDE STEEL BRICK LINTEL, L3-1/2\"/>

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*
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*
For structural design of reinforced foundation wall, footing and tie slab, as noted on S1.1 & S1.3.

No.	REVISIONS	DATE

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Engineers, Scientists, Surveyors

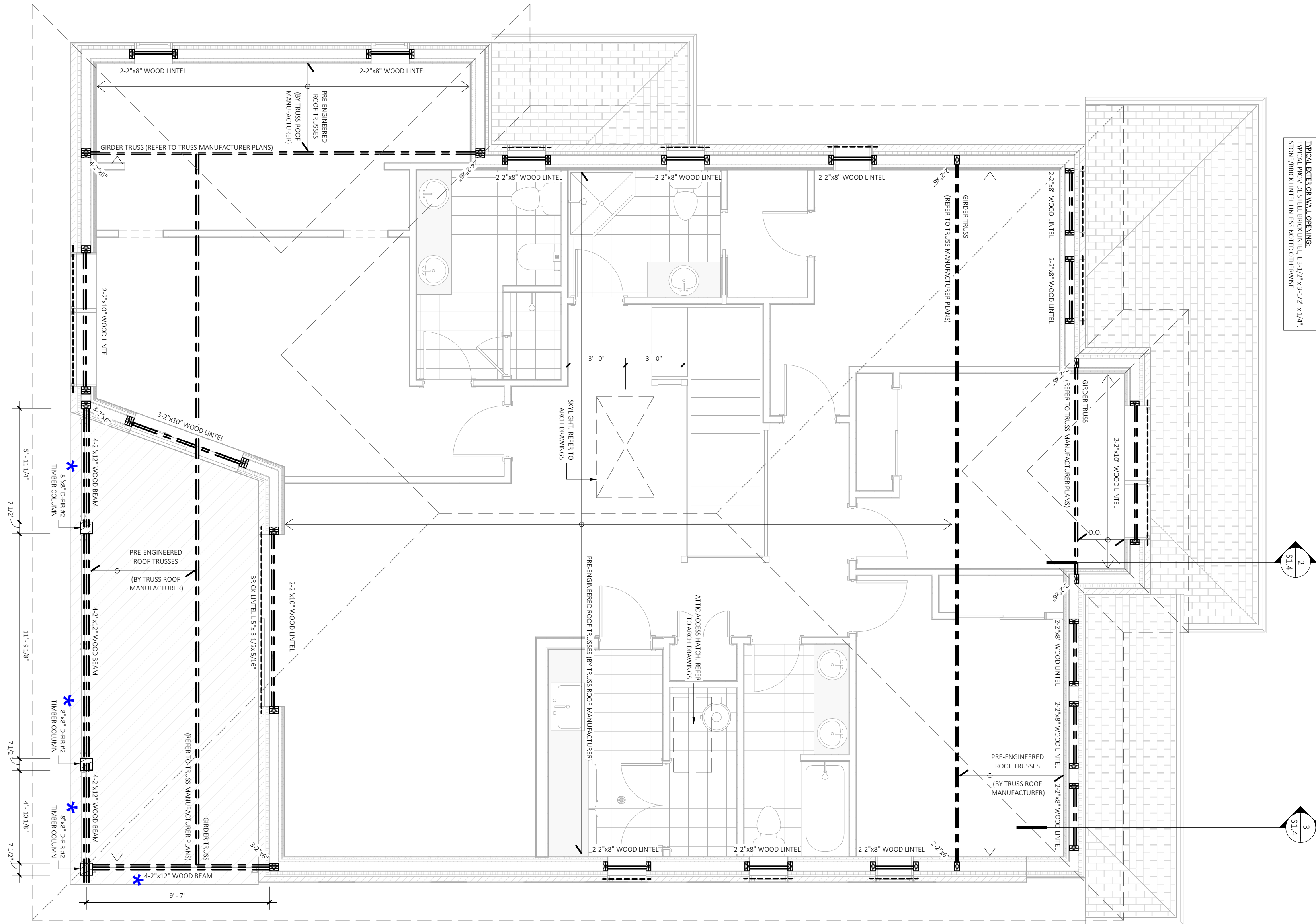
519-743-6500
MTE PROJECT NO. 55318-300

CLIENT
SDIS GROUP INC.

PROJECT NAME
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE
**SECOND FLOOR
FRAMING PLAN**

DATE	2024.10.10	SHEET NO.	S1.3
SCALE	1/4" = 1'-0"		
PROJECT NO.	2024-053		

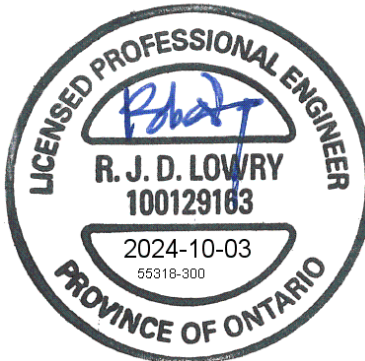


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For structural design of reinforced foundation wall, footing and tie slab, as noted on S1.1 & S1.3.

No.	REVISIONS	DATE

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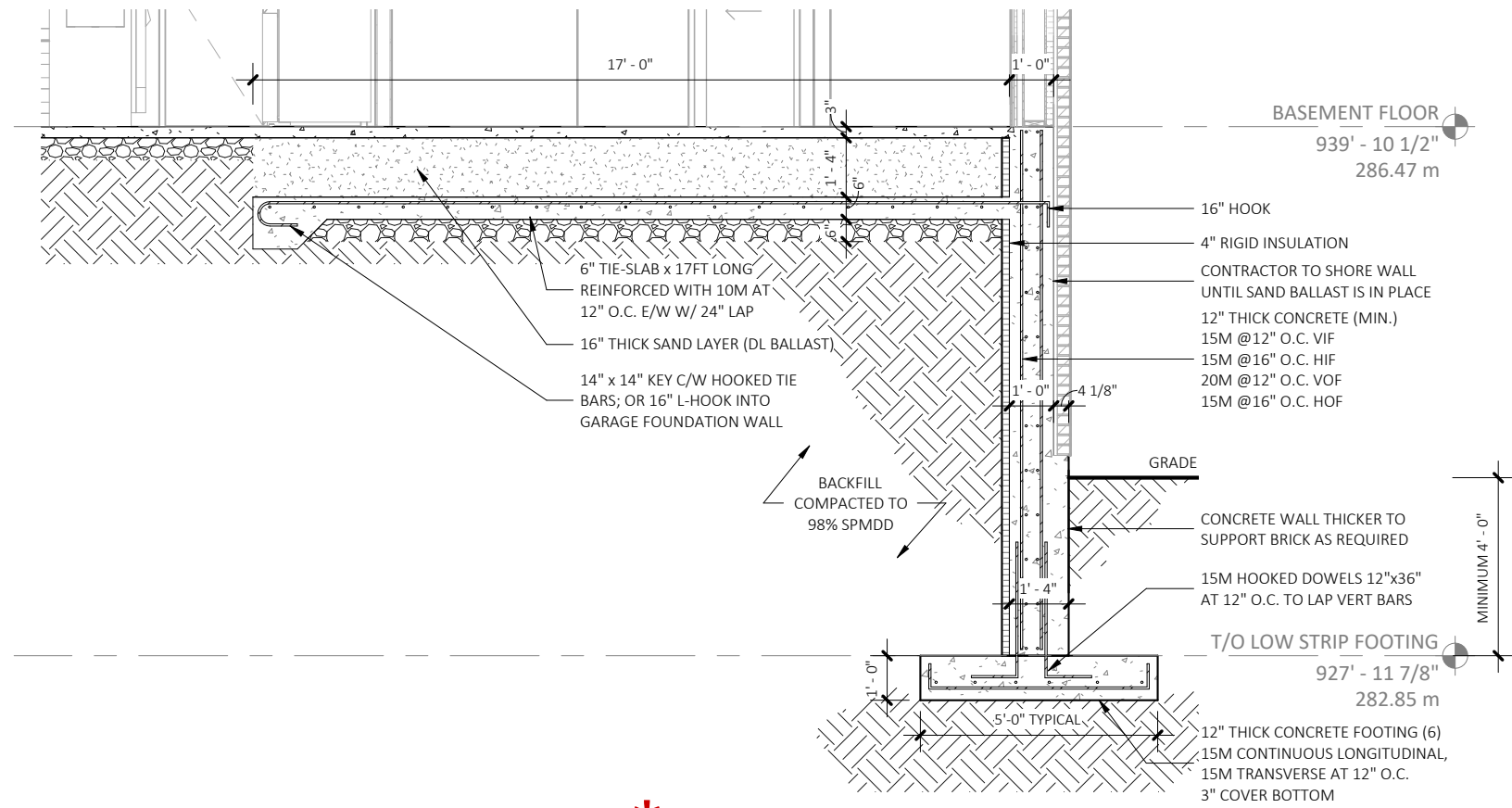
519-743-6500
MTE PROJECT NO. 55318-300

CLIENT
SDIS GROUP INC.

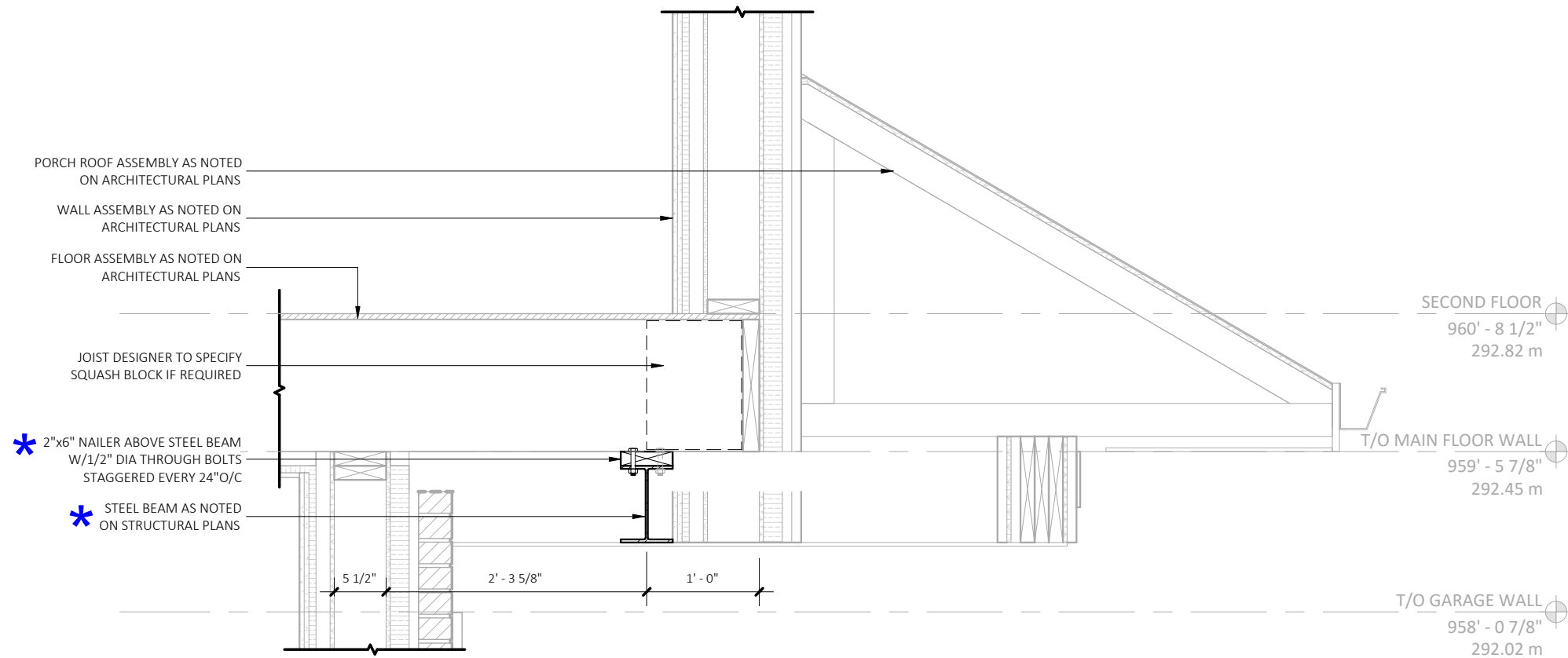
PROJECT NAME
CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE
STRUCTURAL ROOF FRAMING PLAN

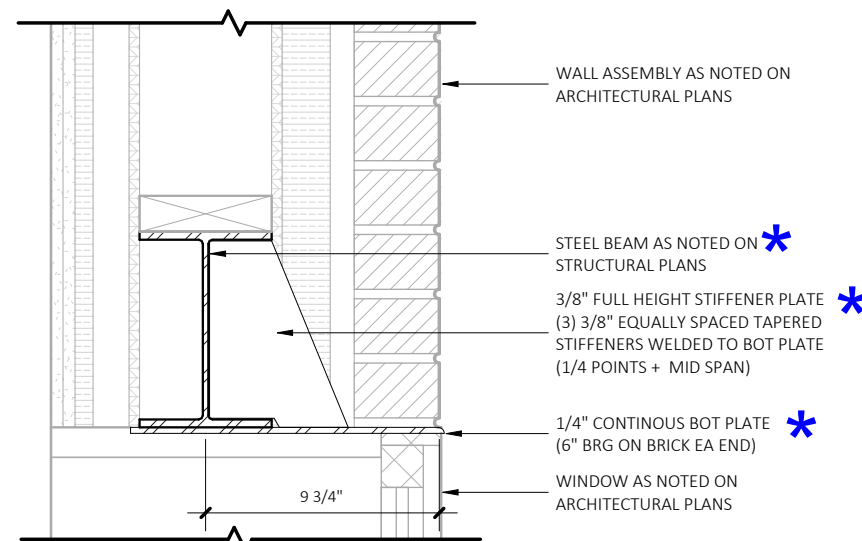
DATE	2024.10.10	SHEET NO.
SCALE	1/4" = 1'-0"	S1.3.1
PROJECT NO.	2024-053	



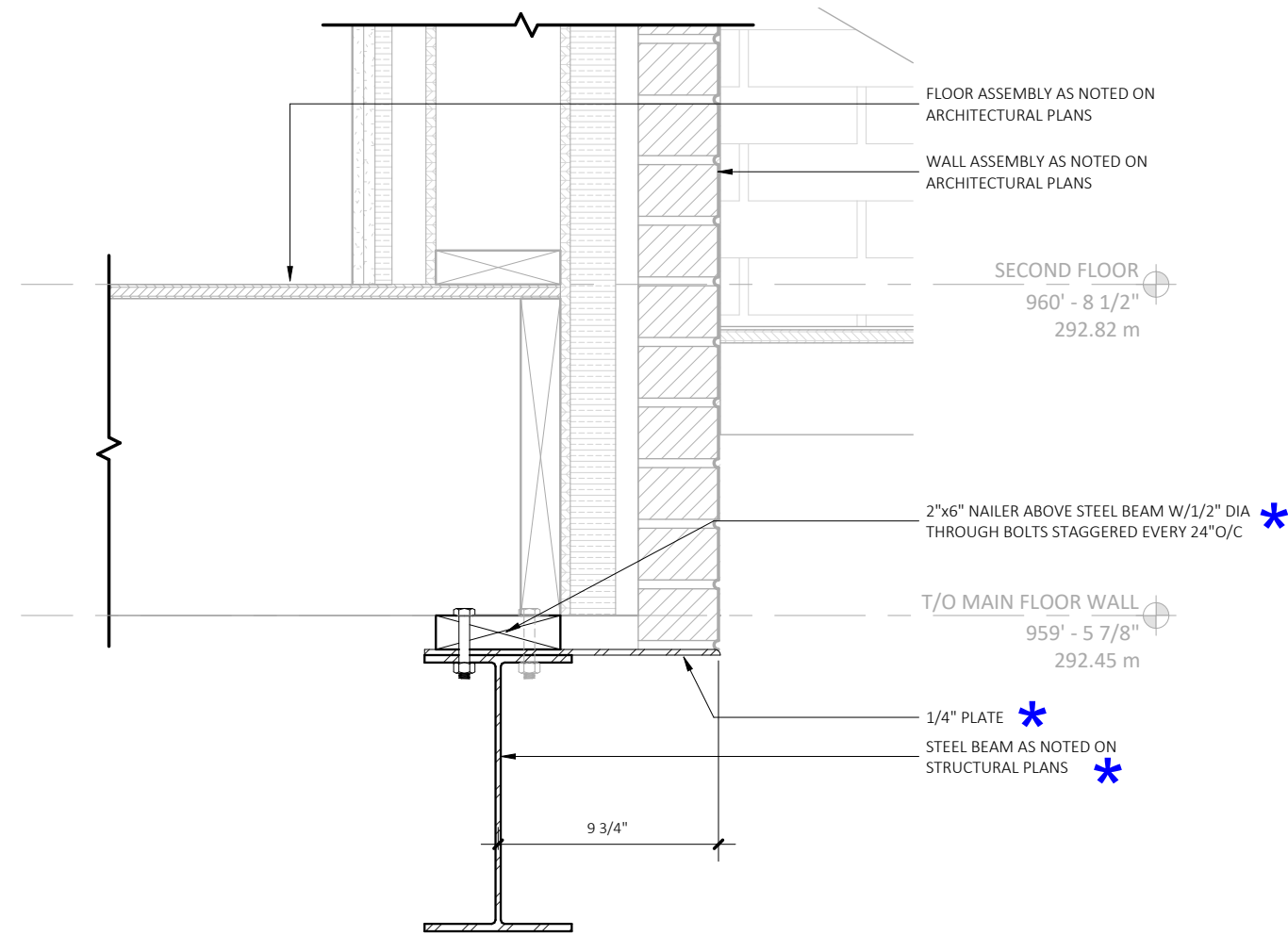
1 FOUNDATION WALL DETAIL *
S1.4 1/4" = 1'-0"



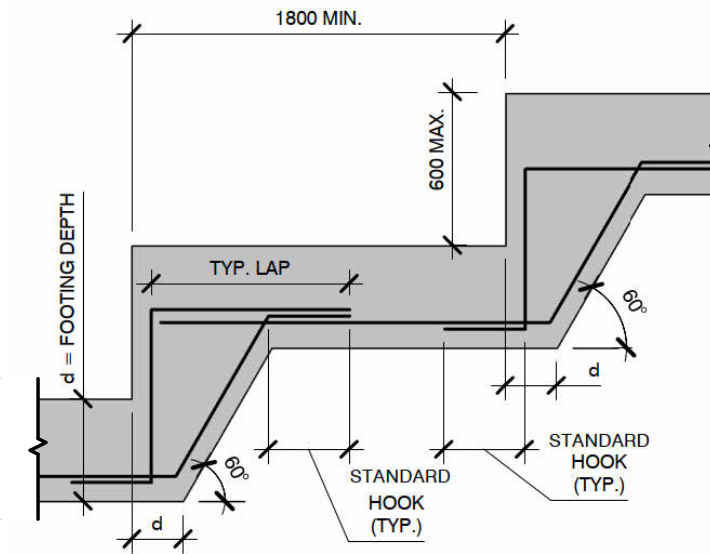
3 BEAM OVER PORCH DETAIL
S1.4 3/4" = 1'-0"



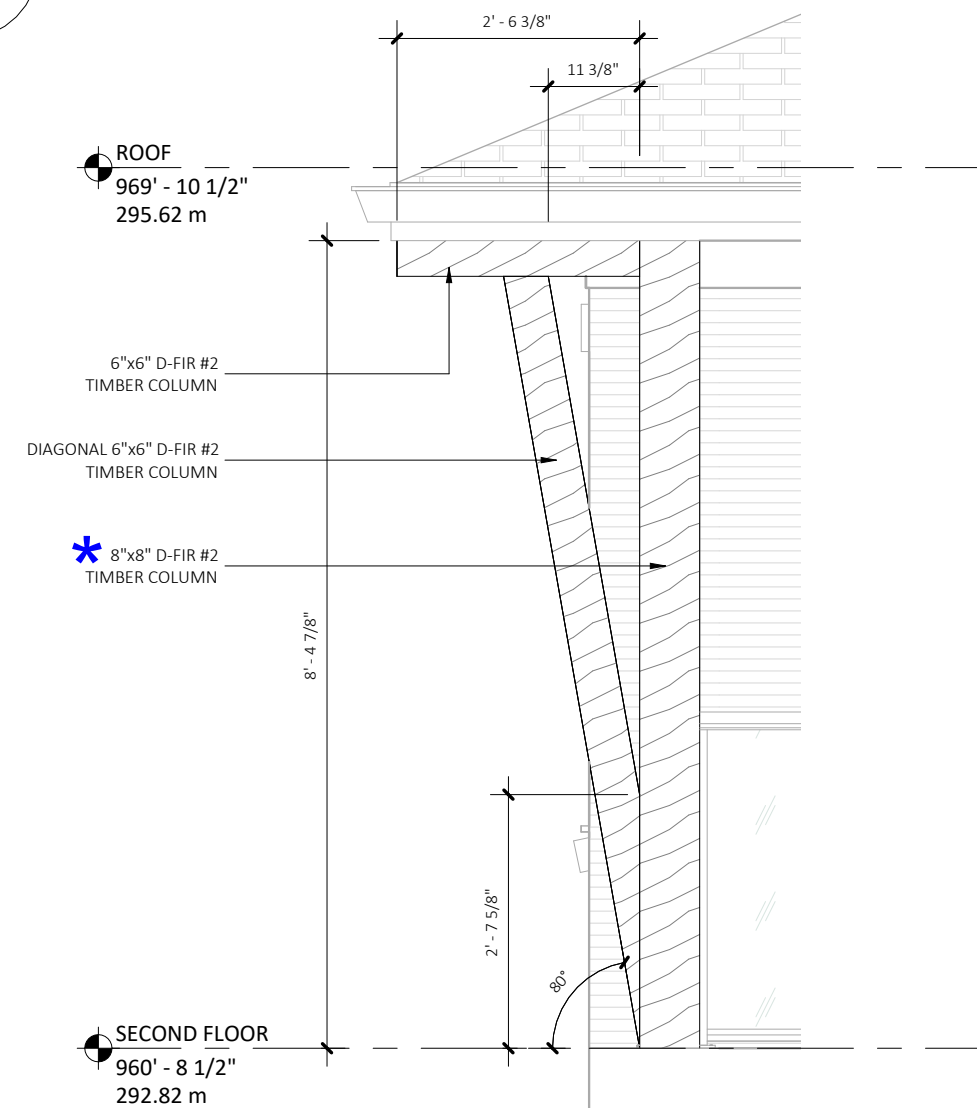
5 TYP. STEEL BEAM W/BRICK ANGLE DETAIL
S1.4 1 1/2" = 1'-0"



2 STEEL BEAM W/BRICK ANGLE AT GARAGE DETAIL
S1.4 1 1/2" = 1'-0"



4 RETAINING WALL FOUNDATION STEP FOOTING *
S1.4 1" = 1'-0"



6 REAR POCH TIMBER COLUMN DEATIL
S1.4 1/2" = 1'-0"

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* For structural design of reinforced foundation wall, footing and tie slab, as noted on S1.1 & S1.3.

No.	REVISIONS	DATE

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rodneym@finelinedraftingdesign.ca
finelinedraftingdesign.ca



Engineers, Scientists, Surveyors

519-743-6500
MTE PROJECT NO. 55318-300

CLIENT

SDIS GROUP INC.

PROJECT NAME

CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE

**STRUCTURAL
DETAILS**

DATE	2024.10.10	SHEET NO.
SCALE	As indicated	S1.4
PROJECT NO.	2024-053	

CONSTRUCTION NOTES

GENERAL NOTES

1. CONFORM TO THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE (OBC) INCLUDING ALL THE LATEST STANDARDS REFERENCED THEREIN, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION. THE LATEST VERSION OF ALL STANDARDS AND CODES LISTED BELOW SHALL BE USED.
2. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER SPECIFICATIONS AND CONTRACT DOCUMENTS.
3. WHERE DISCREPANCIES EXIST BETWEEN CONTRACT DOCUMENTS, INCLUDING DRAWINGS AND APPLICABLE CODES AND ACTS, THE MOST STRINGENT SHALL GOVERN. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
4. THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.
5. SUBSTITUTIONS FROM SPECIFIED PRODUCTS AND MATERIALS MUST BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO ORDERING OF MATERIALS. THE CONTRACTOR SHALL REIMBURSE ALL CONSULTANTS FOR ADDITIONAL COSTS INCURRED AS A RESULT OF REVIEWING ANY CHANGES MADE TO THE CONTRACT DOCUMENTS.
6. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS – O.REG. 213/91.
7. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN ALL SHORING AND TEMPORARY BRACING AS PER O.REG 213/91 AND THE CONTRACTOR SHALL RETAIN AN ENGINEER AS REQUIRED.
8. THE CONTRACTOR SHALL RETAIN AN INDEPENDENT INSPECTION AND TESTING COMPANY TO ENSURE THAT ALL WORK IS DONE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. REQUIRED TESTING SHALL BE AS PER THE TESTING AND INSPECTION TABLE.
9. MTE CONSULTANTS WILL PROVIDE GENERAL REVIEW OF CONSTRUCTION IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF THE ASSOCIATION OF PROFESSIONAL ENGINEERS OF ONTARIO BY MEANS OF A RATIONAL SAMPLING PROCEDURE TO DETERMINE WHETHER THE CONSTRUCTION OF THAT WORK SHOWN ON THE MTE DRAWINGS IS IN GENERAL CONFORMITY WITH THE PLANS, SKETCHES, DRAWINGS, AND SPECIFICATIONS FORMING PART OF THE CONTRACT DOCUMENTS PREPARED BY "MTE". THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT. "MTE" SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
10. IT IS THE RESPONSIBILITY OF BOTH THE OWNER AND THE CONTRACTOR TO NOTIFY THE ENGINEER OF CONSTRUCTION PROGRESS SO THE ENGINEER CAN COMPLETE GENERAL REVIEWS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A CONSTRUCTION SCHEDULE PRIOR TO STARTING THE WORK. GENERALLY, REVIEWS BY THE ENGINEER WILL BE REQUIRED FOR REBAR PRIOR TO CONCRETE PLACEMENT, FOOTING AND FOUNDATIONS PRIOR TO BACKFILLING, AND ABOVE GRADE FRAMING PRIOR TO INSTALLATION OF INTERIOR FINISHES.

TESTING AND INSPECTION

1. THE FOLLOWING ITEMS REQUIRE TESTING OR INSPECTION BY A CERTIFIED INDEPENDENT TESTING OR INSPECTION AGENCY UNLESS NOTED OTHERWISE. THE AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS TO THE ENGINEER FOR REVIEW.

REQUIRED SUBMITTALS	COMMENTS
SOIL BEARING CAPACITY	BY SOILS ENGINEER
SOIL COMPACTION	BY SOILS ENGINEER
HELICAL PIER INSTALLATION	BY SOILS ENGINEER
REINFORCING STEEL PLACEMENT	INSPECT FINAL PLACEMENT
CONCRETE COMPRESSIVE TESTS	MIN 2 SETS PER 100 CUBIC METRES
CONCRETE SLUMP	

FOUNDATIONS

1. ALL BOREHOLE INFORMATION AND GEOTECHNICAL DATA HAS BEEN OBTAINED FROM THE SOIL INVESTIGATION PERFORMED BY MTE CONSULTANTS INC. AS REPORTED IN THEIR SOIL REPORT NO. 55318-100, DATED JUNE 11, 2024. READ THIS REPORT, AND BE THOROUGHLY FAMILIARIZED WITH ITS FINDINGS.
2. ALL COLUMN AND WALL FOOTINGS SHALL BEAR DIRECTLY ON NATURALLY CONSOLIDATED, UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 150kPa (SLS) AND 225kPa (ULS) AT THE DEPTHS INDICATED ON THE DRAWINGS.
3. NO FOUNDATION MAY BE POURED BEFORE THE BEARING MATERIAL HAS BEEN APPROVED BY THE GEOTECHNICAL ENGINEER. NOTIFY THE GEOTECHNICAL ENGINEER A MINIMUM OF 24 HOURS BEFORE THE INTENDED CONCRETE POUR.
4. REMOVE ALL TOPSOIL, ORGANIC LOOSE FILL AND OTHER DELETERIOUS MATERIAL FROM BUILDING AREA BEFORE STARTING CONSTRUCTION.
5. WHERE APPROVED, GRANULAR FILL UNDER ALL FOOTINGS ON GRADE SHALL BE COMPACTED IN 150mm (6") LAYERS TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY (SPMDD).
6. FOUND NEW FOOTINGS WHICH ARE LOCATED ADJACENT TO EXISTING FOOTINGS, AT THE SAME ELEVATION AS THE EXISTING FOOTINGS, UNLESS NOTED OTHERWISE. ANY NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED IN ANY WAY DURING EXCAVATION.
7. FOUND ALL FOOTINGS BELOW THE LEVEL AT WHICH POTENTIAL DAMAGE RESULTING FROM FROST ACTION CAN OCCUR FOR THE FINISHED STRUCTURE, BUT A MINIMUM 1200mm (4'-0") BELOW FINISHED EXTERIOR GRADE, UNLESS NOTED OTHERWISE. UNDER NO CIRCUMSTANCES SHOULD DEPTH BE LESS THAN LOCAL FROST PENETRATION REQUIREMENTS.
8. PROTECT ALL SOIL FROM FREEZING ADJACENT TO AND BELOW ALL FOUNDATIONS DURING CONSTRUCTION.
9. INSULATION IS SHOWN WHERE REQUIRED FOR PROTECTION OF THE FOUNDATIONS FROM DAMAGE DUE TO FROST ACTION ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR FOUNDATION INSULATION NOT SHOWN ON THE STRUCTURAL DRAWINGS.

10. SLABS ON GRADE:

10.1 PLACE SLABS ON GRADE ON MATERIAL CAPABLE OF SAFELY SUPPORTING 25kPa WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOUNDATIONS.

10.2 PROOF-ROLL EXISTING FILL MATERIAL. REMOVE ANY LOOSE OR SOFTENED AREAS BENEATH SLAB-ON-GRADE BEFORE PLACING GRANULAR FILL.

10.3 APPROVED GRANULAR FILL UNDER ALL FLOOR SLABS ON GRADE SHALL BE COMPACTED IN 150mm (6") LAYERS TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY (SPMDD).

10.4 BEFORE CASTING THE SLAB PLACE 150mm (6") OF CLEAR CRUSHED STONE OR COMPACTED GRANULAR "A" OVER THE SUB-BASE AND THOROUGHLY ROLL AND CONSOLIDATE TO THE LEVELS REQUIRED.

10.5 WHERE THE SLAB-ON-GRADE IS USED TO LATERALLY RESTRAIN THE TOP OF AN EARTH-RETAINING WALL, ADEQUATELY SHORE THE WALL UNTIL THE SLAB HAS BEEN CAST AND ATTAINED 70% OF ITS SPECIFIED STRENGTH.

11. CARRY OUT BACKFILLING AGAINST FOUNDATION WALLS WHERE THERE IS GRADE ON BOTH SIDES IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 500mm (20") DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SHORING FOR THE WALL IS PROVIDED.

12. DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVERED RETAINING WALLS) UNTIL THE WALLS AND THE FLOOR CONSTRUCTIONS AT THE TOP AND BOTTOM OF THE WALLS HAVE BEEN CAST AND HAVE ATTAINED 100% OF THEIR DESIGN STRENGTH.

13. IN NO CASE SHALL HORIZONTAL CONTROL JOINTS BE ALLOWED IN ANY VERTICALLY SPANNING CONCRETE WALLS WITHOUT THE CONSENT OF THE ENGINEER.

14. THE FOUNDATION WALLS HAVE BEEN DESIGNED ASSUMING THAT THEY ARE NOT SUBJECT TO HYDROSTATIC PRESSURE. ENSURE PROVISIONS HAVE BEEN MADE FOR APPROPRIATE DRAINAGE OF GROUNDWATER.

CONCRETE AND REINFORCING

1. ALL CONCRETE WORK TO CONFORM TO THE LATEST REQUIREMENTS OF CSA STANDARDS A23.1, A23.2 & A23.3.
2. REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA G30.18 GRADE 400R FOR REINFORCING STEEL AND BE DEFORMED HI-BOND HARD GRADE WITH MINIMUM YIELD STRENGTH OF $F_y=400\text{MPa}$.
3. WELDING OF REINFORCING STEEL SHALL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED ON THE DRAWINGS. IF PERMITTED, GRADE 400W DEFORMED REINFORCING STEEL IS TO BE USED AND WELDING IN ACCORDANCE WITH CSA W186.
4. WELDED WIRE MESH AND WELDED WIRE FABRIC SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA G30.5 WITH A MINIMUM YIELD STRENGTH OF $F_y = 450\text{MPa}$. ALL WELDED WIRE PRODUCTS ARE TO BE SUPPLIED AS FLAT SHEETS AND SHALL BE LAPPED A MINIMUM OF 150mm (6") AT JOINTS (U.N.O.).
5. DETAILING AND PLACING OF ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE REINFORCING STEEL INSTITUTE OF CANADA "MANUAL OF STANDARD PRACTICE".
6. ALL REINFORCING STEEL SHALL BE SHOP FABRICATED TO INCLUDE HOOKS AND BENDS AS REQUIRED.
7. ALL REINFORCING LAP SPLICES SHALL CONFORM TO THE LATEST CSA STANDARD A23.3 AND ALL BAR SPLICES SHALL BE CLASS "B" TENSION SPLICES (U.N.O.).

7.1. NO BAR SPLICES SHALL BE LESS THAN IN THE TABLE BELOW.

7.2. INCREASE HORIZONTAL SPLICE LENGTHS IN THE TABLE BY 1.3 WHERE MORE THAN 300mm (12") OF FRESH CONCRETE IS CAST BELOW THE SPLICE.

8. ALL DOWEL EMBEDMENT SHALL MATCH THE ABOVE TENSION SPLICE LENGTH, UNLESS NOTED OTHERWISE.
9. ALL HORIZONTAL BARS SHALL BE HOOKED 300mm (12") AROUND CORNERS.
10. ALL REINFORCING STEEL FABRICATION AND PLACEMENT DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW BEFORE FABRICATION.
11. REINFORCING BARS, DOWELS AND ANCHOR BOLTS SHALL BE SECURELY TIED IN PLACE SO AS TO MAINTAIN THEIR EXACT POSITION BEFORE AND DURING PLACEMENT OF CONCRETE. BAR SUPPORTS SHALL ONLY BE MADE OF PRECAST CONCRETE BLOCKS, PLASTIC OR WIRE.
12. ALL OIL, GREASE, MUD AND DEBRIS SHALL BE ENTIRELY REMOVED FROM THE REINFORCING STEEL AND ANCHOR BOLTS PRIOR TO THE PLACEMENT OF CONCRETE. REBAR SHALL BE STORED ON SITE IN A MANNER TO BE KEPT CLEAN AND FREE FROM DELETERIOUS MATERIALS.
13. CONFORM TO THE CONCRETE COVER REQUIREMENTS OF CSA A23.1 AND THE FOLLOWING, UNLESS NOTED OTHERWISE:

13.1 CONCRETE CAST AGAINST EARTH: 75mm (3")

13.2 PIERS AND WALL: 40mm (1½")

13.3 EXPOSED TO DE-ICING CHEMICALS: 60mm (2½")

13.4 INTERIOR SLABS AND BEAMS: 40mm (1½")

14. CONCRETE PROPERTIES:

14.1 ALL CONCRETE SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 20MPa UNLESS OTHERWISE SPECIFIED.

14.2 CONCRETE MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO USE AT JOB SITE.

USE	CSA CLASS	28 DAY COMP. STRENGTH (MPa)	MAX. W/C RATIO	AIR CONTENT (%)	MAX. AGGREGATE SIZE (mm)	SLUMP (mm)
FOOTINGS	N	20	AS REQ.	NONE	20	80 ±30
FOUNDATION/RETAINING WALLS	F-2	25	0.55	4-7	20	80 ±30
INTERIOR SLAB ON GRADE	N	25	0.50 MAX.	NONE	20	80 ±30
FREEZE THAW EXPOSURE	F-2	25	0.55	4-7	20	80 ±30

15. WHEN SUPER-PLASTICIZERS ARE USED, THE SLUMP MAY BE INCREASED BEYOND THE VALUES GIVEN, BUT SHALL BE BELOW THE POINT WHERE SEGREGATION WILL OCCUR. THE COST OF SUPER-PLASTICIZERS SHALL BE INCLUDED IN THE COST OF CONCRETE.

16. DO NOT ADD WATER TO CONCRETE UNLESS WRITTEN APPROVAL GIVEN BY THE ENGINEER. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.

17. HOT AND COLD WEATHER CONCRETING SHALL COMPLY WITH ALL REQUIREMENTS OF CSA STANDARD A23.1. CALCIUM CHLORIDE ADDITIVES WILL NOT BE PERMITTED.

18. ALL CONCRETE FORMWORK TOLERANCES AND SURFACE FINISHES SHALL COMPLY WITH CSA STANDARD A23.1 UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.

19. ALL CONCRETE FORMS TO BE WET THOROUGHLY BEFORE POURING CONCRETE.

20. WATER CURING OF CONCRETE IS RECOMMENDED. CURE AND PROTECT ALL CONCRETE IN ACCORDANCE WITH CSA A23.1 SECTION 7.4.

21. ALL CONCRETE EXCEPT SLABS ON GRADE 150mm (6") THICK OR LESS SHALL BE MECHANICALLY VIBRATED SO AS TO COMPLETELY FILL THE FORM WITHOUT CAUSING UNDUE SEGREGATION. ANY DEFECTS IN THE HARDENED CONCRETE SHALL BE SATISFACTORILY REPAIRED OR SHALL BE REPLACED.

22. CHECK ALL STRUCTURAL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, CIVIL, LANDSCAPE AND ALL OTHER RELEVANT DRAWINGS FOR LOCATIONS AND SIZES OF BOLTS, SLEEVES AND OPENINGS.

23. ALL REFERENCES TO EPOXY ARE FOR HILTI HIT-HY 200, UNO. FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION AND TRAINING OF INSTALLERS.

BAR SIZE	TENSION SPLICE (mm)			COMPRESSION SPLICE (mm)
	25MPa CONC.	30MPa CONC.	35MPa CONC.	
10M	400 (16")	400 (16")	400 (16")	450 (18")
15M	600 (24")	600 (24")	600 (24")	450 (18")
20M	800 (32")	800 (32")	800 (32")	600 (24")

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL AND CONNECTIONS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST CSA STANDARD S16.

2. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40.20 FOR GENERAL REQUIREMENTS, AND CAN/CSA-G40.21 FOR QUALITY

2.1. GRADE 350W CLASS C FOR H.S.S.

2.2. GRADE 350W FOR W SHAPES, S SHAPES, AND TEES.

2.3. ALL OTHER MISCELLANEOUS METAL SHALL BE MINIMUM GRADE 300W (U.N.O.)

3. STEEL COATINGS – UNLESS NOTED OTHERWISE ALL STRUCTURAL STEEL SHALL BE CLEANED AND PREPARED TO A MINIMUM LEVEL OF SSPC SP-3 AND IN ACCORDANCE WITH CSA STANDARD S16:

3.1. INTERIOR STRUCTURAL STEEL SHALL BE SHOP PRIME PAINTED AS PER CSA/CAN-S-16. SHOP PRIMER SHALL CONFORM TO CISC/CPMA 1-73A.

4. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W59 AND SHALL BE UNDERTAKEN BY A FABRICATOR AND ERECTOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W47, DIVISION 1 AND DIVISION 2. FABRICATOR TO SUPPLY CERTIFICATION OF FUSION WELDING, AND WELDING MAY ONLY BE CARRIED OUT IN ACCORDANCE WITH OWNER'S SAFETY REGULATIONS REGARDING WELDING.

5. BEAMS SET ON A CONCRETE FOUNDATION WALL SHALL HAVE A ½" THICK STEEL BASEPLATE ANCHORED TO THE WALL USING (2)¾"DIA.x6" LONG EPOXY ANCHORS (MIN. 3" EDGE DISTANCE).

6. LATERALLY BRACE THE TOP FLANGE OF STEEL BEAMS USING A 2x6 NAILER CONNECTED W/ ½"DIA. THROUGH BOLTS AT 24"O/C, STAGGERED.

LUMBER

1. SAWN LUMBER PRODUCTS SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD 0141. ALL SAWN LUMBER IS TO BE SPF GRADE NO. 2 OR BETTER, UNLESS NOTED OTHERWISE.

2. JOISTS HANGERS SHALL BE MINIMUM 0.879mm (0.0346") GALVANIZED STEEL AND SHALL CONFORM TO THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS "ACCEPTANCE CRITERIA FOR JOIST HANGERS AND SIMILAR DEVICES".

CONNECTION TYPE	MIN. LENGTH (mm)	MIN. NUMBER OR SPACING (mm)
DOUBLE STUDS AT OPENINGS OR STUD WALLS	76 (3")	750 (30") O/C
LINTELS TO STUDS EACH END, EACH PLY	82 (3¼")	50 (2") O/C
76 NAIL DIA. = 3.76 (0.148") MIN. 82 NAIL DIA. = 3.76 (0.148") MIN.		

DESIGN LOADING

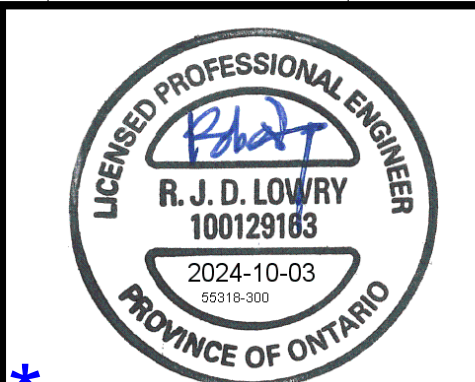
ROOF SL=30psf, DL=20psf
FLOOR LL=40psf, DL=15psf

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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE AND REPORT AND DISCREPANCIES TO THE DRAFTSPERSON, BEFORE PROCEEDING WITH THE WORK.

DRAWINGS ARE NOT TO BE SCALED.

No.	CHRONOLOGY	DATE
1	ISSUED FOR BUILDING PERMIT	2023.10.10



*
For structural design of beams (assoc posts, columns and pad ftgs) & porch piers w/ ftgs, as noted on S1.1 & S1.2 & S1.3.



*
For structural design of reinforced foundation wall, footing and tie slab, as noted on S1.1 & S1.3.

No.	REVISIONS	DATE

FINE LINE

DRAFTING & DESIGN INC.

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MTE
Engineers, Scientists, Surveyors

519-743-6500
MTE PROJECT NO. 55318-300

CLIENT

SDIS GROUP INC.

PROJECT NAME

CHMELAR RESIDENCE
30 ROSE STREET, AYR,
ONTARIO NOB 1E0

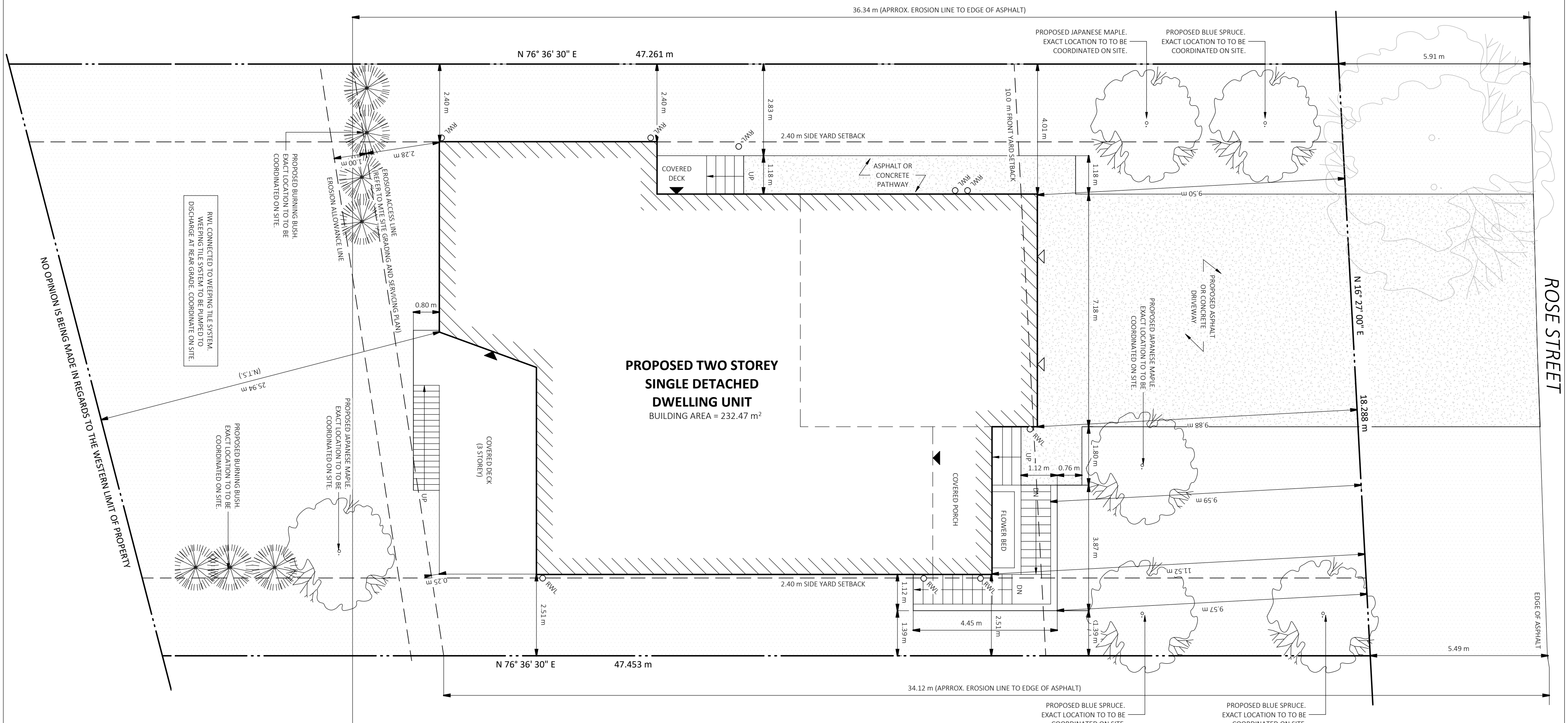
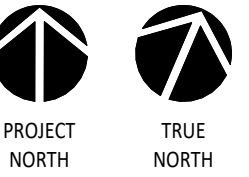
DRAWING TITLE

STRUCTURAL NOTES

DATE	2024.10.10	SHEET NO. S1.5
SCALE		
PROJECT NO.	2024-053	

DRAWINGS ARE NOT TO BE SCALED.

No.	CHRONOLOGY	DATE
1	ISSUED FOR BUILDING PERMIT	2023.10.10




No.	REVISIONS	DATE

**FINE
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& DESIGN INC.

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.


Rodney Friesen
Personal BCIN: 114065
Firm BCIN: 126303

CLIENT

SDIS GROUP INC.

PROJECT NAME

CHMELAR RESIDENCE

30 ROSE STREET, AYR,
ONTARIO NOB 1E0

DRAWING TITLE

SITE PLAN

DATE	2024.10.10	SHEET NO. SP1.1
SCALE	1/8" = 1'-0"	
PROJECT NO.	2024-053	